

Fall 2014

Facilities Master Plan



EVERETT
COMMUNITY COLLEGE



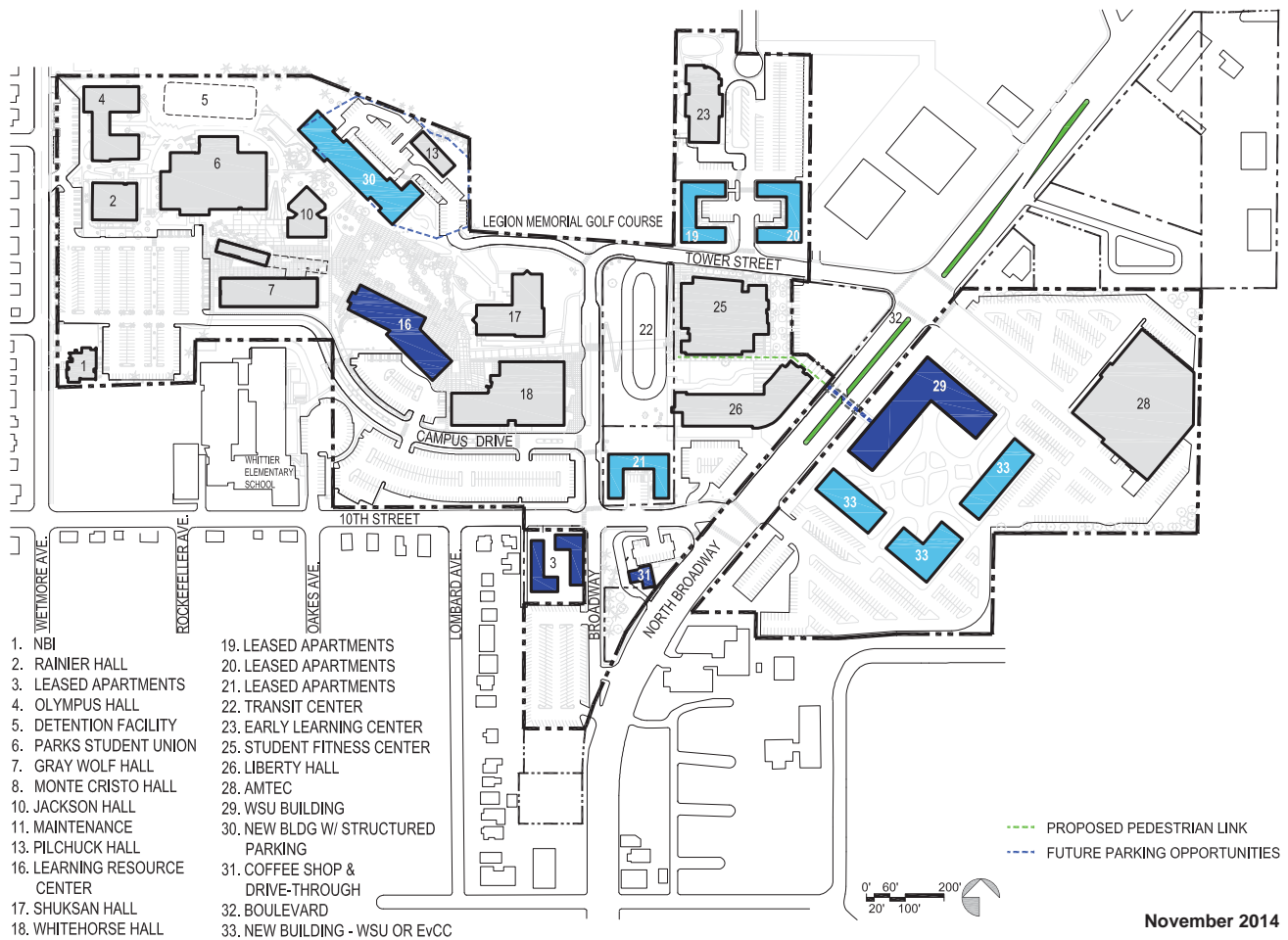
Fall 2014

Facilities Master Plan



TABLE OF CONTENTS

1.0 EXECUTIVE SUMMARY	1
2.0 HISTORY OF EVERETT COMMUNITY COLLEGE	3
3.0 STRATEGIC & ACADEMIC PLANNING	7
4.0 GROWTH & LONG-TERM SPACE NEEDS ANALYSIS	11
5.0 DEVELOPMENT PROGRAM	13
6.0 DESIGN GUIDELINES	17
7.0 IMPLEMENTATION	37
8.0 APPENDIX	41
2008 Comprehensive Plan Update	43
Broadway Mixed Use Corridor Zoning Requirements	61
Comprehensive Design Sign Plan Review	85
Commute Trip Reduction Program	93
Enlarged Utility Plan	101
Landscape Plants by Theme	105



S.M. STEMPEL ARCHITECTS
A Professional Limited Liability Company

Ultimate Vision Campus Master Plan

CREATING THE CAMPUS FABRIC

Everett Community College was established in 1941 to serve students in Snohomish County in Washington State Community College District 11. The College has grown to serve nearly 20,000 students (total headcount) in 2012-2013. This translates to almost 8,000 full-time equivalent students (FTE). It is accredited by the Northwest Association of Schools and Colleges.

The College has expanded to incorporate more than 800,000 SF of built space on the main 45-acre campus and six off-campus sites. College facilities will continue to evolve and improve to accommodate anticipated future EvCC enrollment growth through 2035 and beyond, to expand opportunities for learning, teaching and

academic excellence. To ensure continued support for the fundamental instructional mission of the College, the intent of the Facilities Master Plan is to describe a comprehensive plan for growth and improvement of campus facilities.

The Facilities Master Plan embodies a philosophy that the learning environment exists not just in a building or classroom, but throughout the entire campus. The Master Plan establishes a rational and flexible development framework aligning curricular goals with physical planning. The Master Plan creates a sense of place and integrates facilities into a balanced and thoughtful campus fabric.



Courtyard outside Parks Student Union and Baker Hall, beyond

The Master Plan establishes a number of physical objectives to be achieved. Short term needs (5-10 years) are specific projects phased over several biennial planning cycles. Mid-range needs (10-20 years) address ongoing property acquisition and replacement of aging buildings. Long-term needs (20+ years) recognize continued significant growth of the College to a total enrollment of approximately 15,500 full-time equivalent students, including WSU students at the new Everett location; this requires development of academic and

support facilities on the east side of North Broadway/ Highway 99. The Master Plan illustrates a general approach to development that has been adopted by the City of Everett as part of its Comprehensive Plan, updated in 2008.



Left, students at Gray Wolf Hall; right, Shuksan Hall

EVERETT COMMUNITY COLLEGE HISTORY

Founded in 1941, Everett Community College is one of 34 community and technical colleges governed by the Washington State Board of Community and Technical Colleges. The College is administered by a five-member board of trustees appointed by the Governor of the State of Washington. The College is accredited by the Northwest Commission on Colleges and Universities and offers Associate degrees in Arts and Sciences, Business, General Studies, Science, Fine Arts, and Technical Arts. Certificates of Completion are awarded in more than 20 technical and career fields. Students can also access Adult Education, English as a Second Language, and General Education Diploma programs. Everett Community College partners with multiple colleges and universities to offer Bachelor's and Master's degrees for regional residents through its University Center of North Puget Sound. Washington State University assumes leadership of the University Center in July 2014. Washington State University is locating a facility on the College Plaza site (scheduled to open in 2017), which will bring additional upper class students to the campus, and will provide additional partnering opportunities for Everett Community College.

Everett Community College has grown from its modest beginnings in a converted elementary school to become a regional state-supported center for education, serving university-level students as well as a growing workforce seeking new skills for challenging careers. The College relocated its main campus to the present site in 1958

on 40 acres in North Everett. The original campus was accessed from the west, from Wetmore Avenue, and it comprised seven buildings: Olympus, Pilchuck, Monte Cristo, Glacier, and Cascade Halls, plus a Maintenance Building and an off-campus gymnasium. All but Olympus, Monte Cristo and Maintenance have since been replaced, but the tradition of naming college buildings for peaks in the Cascade Mountains has been enthusiastically maintained; there are a few exceptions to this pattern, most notably Parks Hall, named for Gary Parks, a firefighter whose life was lost battling the blaze that destroyed Cascade Hall in 1987.

Owned campus facilities now include approximately 780,000 gross square feet of built space. In addition, the College leases approximately 35,000 gross square feet, which includes the off-campus locations and the Lona Vista student housing.

In 2001, a 25-year Facilities Master Plan was developed by the College to meet the region's higher education needs. The College Master Plan has been adopted by the City of Everett as part of its Comprehensive Plan, and has been updated regularly, most recently in 2008, see Appendix. The Master Plan provides space for new



EvCC is a leader in workforce training

programs, and supports Snohomish County's plans for the future by expanding educational opportunities, a key county goal for education, workforce and economic development. Anticipating continued program growth, and partnership with Washington State University, the plan embodies a strategy for growth of the College eastward toward North Broadway.

Consistent with this plan, the footprint of the College has expanded beyond the original campus, with acquisition of property in the "Triangle" area bounded by North Broadway, 10th Avenue, Broadway and Tower Street. A partnership with nearby Providence Hospital Everett has led to phased acquisition by the College of the hospital-owned College Plaza shopping center on the east side of North Broadway, in exchange for acquisition by the hospital of the original College gymnasium and sports fields several blocks south of the main campus. The College Plaza provides significant long-term development space for the College, currently utilized for additional

parking. In 2014, the Advanced Manufacturing Technical Education Center (AMTEC) will move into a portion of the former Providence building at the east end of the site. The hospital will lease the remainder of the building in the short term for miscellaneous business operations.

The 2006 completion of the North Everett Transit Center at the intersection of Broadway and Tower Street greatly improved public transit service to the College, improving access for students, reducing the need for surface parking and helping the College reduce the environmental impact of its activities.

OFF-CAMPUS EDUCATION, TRAINING AND PROFESSIONAL DEVELOPMENT

In addition to its main campus, Everett Community College has established several satellite sites to meet the instructional needs of the region, including owned facilities at Paine Field and in the Corporate Continuing Education Center and a leased facility in Marysville. Other recent additions include the Ocean Research College Academy (ORCA) and the East County Campus at Monroe.



EvCC's Ocean Research College Academy is one of Washington's first early college high school academies

The Corporate & Continuing Education Center provides career training, professional development, personal enrichment and small business acceleration classes.

In North County, the College leases space for the Cosmetology Program in Marysville. The facility was recently remodeled, which has allowed the program to accommodate additional growth.

ORCA, the Ocean Research College Academy, is located at a state of the art facility on the Everett waterfront at the Port of Everett's Waterfront Center. The proximity to

the water is ideal for students, enabling opportunities for daily monitoring and independent research projects. This oceanographic research lab is equipped with a 120 gallon seawater aquarium, fume hood, and research stations designed for collaborative and independent research.

A unique opportunity for high school students, the tuition-free program is the only early college in the nation that uses the local marine environment as the unifying theme to integrate the core academic disciplines.



East County Campus

The East County Campus offers classes each quarter at various locations in the Monroe area, offering both convenience and economy to students located nearby. The main location at the Lake Tye building works well for classroom and computer lab space, but is lacking in space for Professional/Technical programs as well as science labs. Increased program offerings in East County would potentially improve access by locating programs where students live.

The College, working closely with industry, created The Aerospace Solutions Group in 2012. The new division connects regional aerospace and manufacturing companies with workforce development and training solutions provided by the College. The Aerospace Solutions Group leverages the expertise of several programs, including EvCC's Aviation Maintenance Technician School, the Corporate & Continuing Education

Center, and professional-technical programs in Welding, Machining, Composites, and Industrial Design among others. The Center provides students an opportunity to learn technical skills needed to go from little or no experience in manufacturing to working for companies in a high-demand skill in twelve weeks or less. Longer-term programs provide a pathway toward a two-year degree at EvCC or a four year degree through the University Center of North Puget Sound. The Advanced Manufacturing program is moving to College Plaza in 2014, to provide expanded space for instruction, and proximity for students who utilize the main campus for additional classes.

EvCC's faculty and staff continue to build lasting partnerships with business and industry, local communities and other educational institutions to ensure that learning at EvCC is dynamic and relevant. Everett Community College counts among its alumni many of the area's business, government, civic and social leaders. EvCC students have gone on to serve their communities in the United States Congress, the Washington State Legislature, and local government; they build businesses and support enterprises that fuel the region's—and the nation's—economy, and distinguish themselves in the world of art, literature and music.



EvCC students learning hands-on skills

VISION STATEMENT

Everett Community College creates a better world one successful student at a time.

MISSION STATEMENT

We educate, equip, and inspire each student to achieve personal and professional goals, contribute to our diverse communities, and thrive in a global society.

STRATEGIC PLAN

Core Values:

- » **Promise:** We value, respect, and act on behalf of each student's educational needs and aspirations.
- » **Purpose:** We embrace the transforming value of learning for ourselves, our students, and our communities.
- » **Progress:** We strive always to innovate, improve, and advance.

- » **People:** We nurture a campus community that is culturally competent and inspired to engage, collaborate, and grow.
- » **Partners:** We connect constructively with the communities we are here to serve.
- » **Practice:** We model evidence-based decision making, equity and inclusiveness, stewardship, and sustainability.

Student Success:

- We will provide guidance and support to improve each student's capacity for college completion, job readiness, and career success.
- We measure our success by each student's achievement of educational, personal, and professional goals.
- We provide open access to affordable education to all members of our community.



EvCC's growing campus. Left, Parks Student Union Bistro (2011); right, Student Fitness Center (2010)

Community Connections and Partnerships:

- We listen and respond to community needs.
- We build trust and accountability with our local, regional, and global communities through frequent and effective communication.
- We actively develop strategic networks and partnerships to advance institutional innovation, strengthen student learning, and drive workforce and economic vitality for our region.
- We collaborate with our K-20 partners to create seamless educational pathways for our students.
- We enrich our communities and enhance the quality of community life.

Resource Stewardship:

- We seek financial stability by developing strong and diverse revenue streams.
- We invest in our employees.
- We invest in physical facilities to enhance the learning environment.
- We practice environmental, economic, and social sustainability across the campus.
- We are responsible stewards of our limited resources – proactive in fiscal planning and efficient in our practices.

Innovation and Leadership:

- We infuse innovation learning and state-of-the-art pedagogy – such as an emphasis on critical thinking and collaborative learning – into all course offerings.
- Our infrastructure supports innovative instruction, prepares students for technologies of the future, and links education and training to high demand career paths.
- We anticipate and respond boldly to opportunities and challenges, and innovate to stay ahead in a competitive environment.
- We practice evidence-based decision-making throughout the college.

Cultural Pluralism and Global Readiness:

- We develop cultural competencies in faculty, staff and students.
- We integrate global/cultural connections and awareness in our curriculum and programs.
- We develop a persuasive campus culture of respect, advocacy, and engagement for all.
- We embrace smaller groups within our campus community and support their unique cultural identities, values, and practices.
- We prepare students to participate as global citizens and to succeed in a global economy.



Left, Jackson Center (2012); right, Parks Hall encircled by walking trails (2013)

MASTER PLAN GUIDING PRINCIPLES

The Master Plan Committee has established guidelines that align the College's educational and institutional needs with fundamental goals relating to the environment, community and campus culture. To accommodate effective learning, EvCC shall:

- Make technology-enhanced classrooms available campus-wide
- Design flexible classrooms and spaces that support collaborative & non-traditional teaching & learning
- Furnish adequate storage
- Maintain hubs of faculty and program support staff as additional faculty and staff are hired to meet enrollment demand
- Offer flexible and centralized testing options
- Build sustainable, low maintenance facilities
- Provide adequate parking and garages
- Ensure safety, security, and rapid emergency response on campus

These principles address the broader community, describe the campus setting, and provide for a vital, campus centered student life. The college will strive to:

- Create a distinctive, beautiful campus with:
 - Central social gathering places
 - Clear distinction between pedestrian and parking areas

- Natural landscaping using native materials
- Integrated signage and artwork
- Walking and biking trails
- Promote community connection by:
 - Implementing designs sensitive to North Everett/South Snohomish context, environment & culture
 - Becoming a resource and cultural center for the community
- Ensure accessibility is an essential component of campus planning
- Effectively integrate WSU into the fabric of the campus and develop partnership opportunities, while maintaining the distinct identities of both institutions
- Boost sense of campus community with face-to-face interaction and outside-of-the-classroom activities
- Support student life by assisting with transportation alternatives (bus passes) and making service learning and student service spaces accessible and convenient
- Recognize the importance of off-campus programs and issues, and provide security and staffing at all locations
- Create a dedicated "emergency operations center"



Groundbreaking at Liberty Hall, 2011

FTE GROWTH

The Everett Community College service district has been one of the fastest growing in the state of Washington. Enrollment at the College has kept pace with general population growth in the region. For 2012-2013, the College enrolled 7,727 FTE students, for a total headcount of 19,530 students. State-funded FTEs have dropped slightly since their peak in 2010, but are expected to increase again over the next ten years, according to SBCTC projections. Recent global economic conditions have created even greater demand for professional and technical programs, as well as academic transfer programs, adult basic education, and continuing education. To support this program growth into the future, campus facilities must continue to evolve and expand.

SPACE NEEDS ANALYSIS

The Everett Community College campus currently comprises approximately 622,000 GSF of owned space. Off campus, the College owns and leases approximately 193,000 GSF in multiple locations. With committed changes, combined owned and leased properties represent a total of approximately 762,000 GSF supporting student instruction.

In addition, the College presently owns approximately 100,000 GSF in the College Plaza shopping center. Approximately half of the former Providence Building at College Plaza will be occupied by AMTEC in 2014, and the remainder of the building will be leased to Providence until 2021. The remaining shopping center space is leased to multiple tenants, but is not directly involved in student instruction. Overall, College facilities represent approximately 815,000 GSF of owned and leased space.



With 7,727 FTE students (Fall 2012) in 762,000 GSF of instruction-related space, or 98.6 GSF/FTE, Everett Community College provides substantially less space per student than the recommended Washington State Board for Community and Technical Colleges standard of 140 GSF/FTE, resulting in a nominal facilities shortage of approximately 320,000 GSF. Efficient utilization mitigates much of this space shortage, but some critical campus facilities are undersized for enrollment size, especially the Learning Resource Center housed in Parks Hall, and classrooms are difficult to schedule at certain periods of the day. This significantly impacts the ability of the College to meet growing student demand for additional class sections, to create or expand programs, and to provide critical services for students and staff.

Compounding the space shortage are a number of older, inefficient campus buildings, such as Olympus and Baker Halls, which have survived far beyond their useful life expectancy and now require significant renovation or replacement. Olympus was recently identified as a renovation candidate. It is important to the College historically, and may be difficult to replace with state funds since it primarily houses administrative functions. Some exterior repair work is currently underway, and HVAC upgrades are planned. Once this work is complete, the College can decide whether or not a comprehensive renovation or replacement is advised. Monte Cristo and Index continue to be occupied long after their replacements Whitehorse and Liberty, but both have serious deficiencies and should be demolished.



Original campus buildings slated for replacement: Left, Baker Hall; right, Baker Hall Auditorium

In addition to general space needs related to enrollment growth through 2035, Everett Community College has identified a number of specific facilities needs. These have been evaluated with respect to:

- Public life-safety and health
- Enrollment and program growth
- Legal responsibility and code compliance
- Energy and sustainability
- Institutional advancement
- Campus community demand
- Neighborhood/community good will

SHORT TERM NEEDS

Short term needs include projects critical to College success over a period of five to ten years:

- Improvements to North Broadway / Highway 99 to increase pedestrian safety
- Integration of WSU building into campus on College Plaza site
- Development of new Learning Resource Center

- Expansion of surface parking
- Development of student housing
- Demolition of Index

The development of the new Learning Resource Center is the highest priority for the master plan, in terms of funding derived from the state capital budget. This will help tie the newer campus buildings to the east back to the original campus buildings to the west. WSU and AMTEC will start the evolution of the College Plaza site in the short term, expanding the College presence across Broadway. This expansion will increase pedestrian activity along Broadway, necessitating pedestrian safety improvements, which may include a boulevard treatment, a mid-block pedestrian crossing, and a pedestrian bridge across Broadway. New student housing on the campus periphery, near the existing Lona Vista apartments, will help meet the demand for on-campus housing, at a convenient location near transit and the Fitness Center. The Lona Vista apartments could also be replaced to provide more housing units of higher quality if the 10th and Broadway site remains unavailable.



left Liberty Hall; right Whitehorse Hall

MID-RANGE NEEDS

Mid-range development needs include:

- Property acquisition
- Demolition of Glacier, Monte Cristo
- Replacement of Baker Hall
- Renovation or replacement of Olympus Hall
- Development of additional student housing
- Introduction of structured parking

Baker Hall has outlasted its life-expectancy, and its replacement would allow for the College to create an academic building to serve its long-term space needs. Due to existing topography, the replacement site would allow for structured parking beneath the building. This would help with the deficit of parking that the College must address. Several buildings that are not maintained in the capital budget system will be demolished when the Baker replacement comes on line. Logistics Operations can be relocated from Glacier to Pilchuck, as it will be vacated by Welding when AMTEC opens. Facilities will be able to move into a portion of the AMTEC building, although other options will be explored as the distance from the heart of campus is not ideal. Additional student housing would be possible between the Student Fitness Center and the Early Learning Center, adding units to reach the long-term goal of approximately 250 students in campus housing.

LONG TERM NEEDS

The long-range development plan recognizes significant College enrollment growth to approximately 15,500 FTEs. This will require development of additional instructional and support buildings serving either EvCC or WSU, on the east side of North Broadway.

Everett Community College intends to apply consistent standards for design and development throughout the campus as the College grows. The Master Plan goal is to establish, develop and maintain a responsive, innovative and sustainable physical environment that promotes excellence, diversity and professional and personal growth.



Future site of EvCC Advanced Manufacturing Technology Center (AMTEC)

OFF-CAMPUS PROGRAMS NEEDS

Off-campus development needs include:

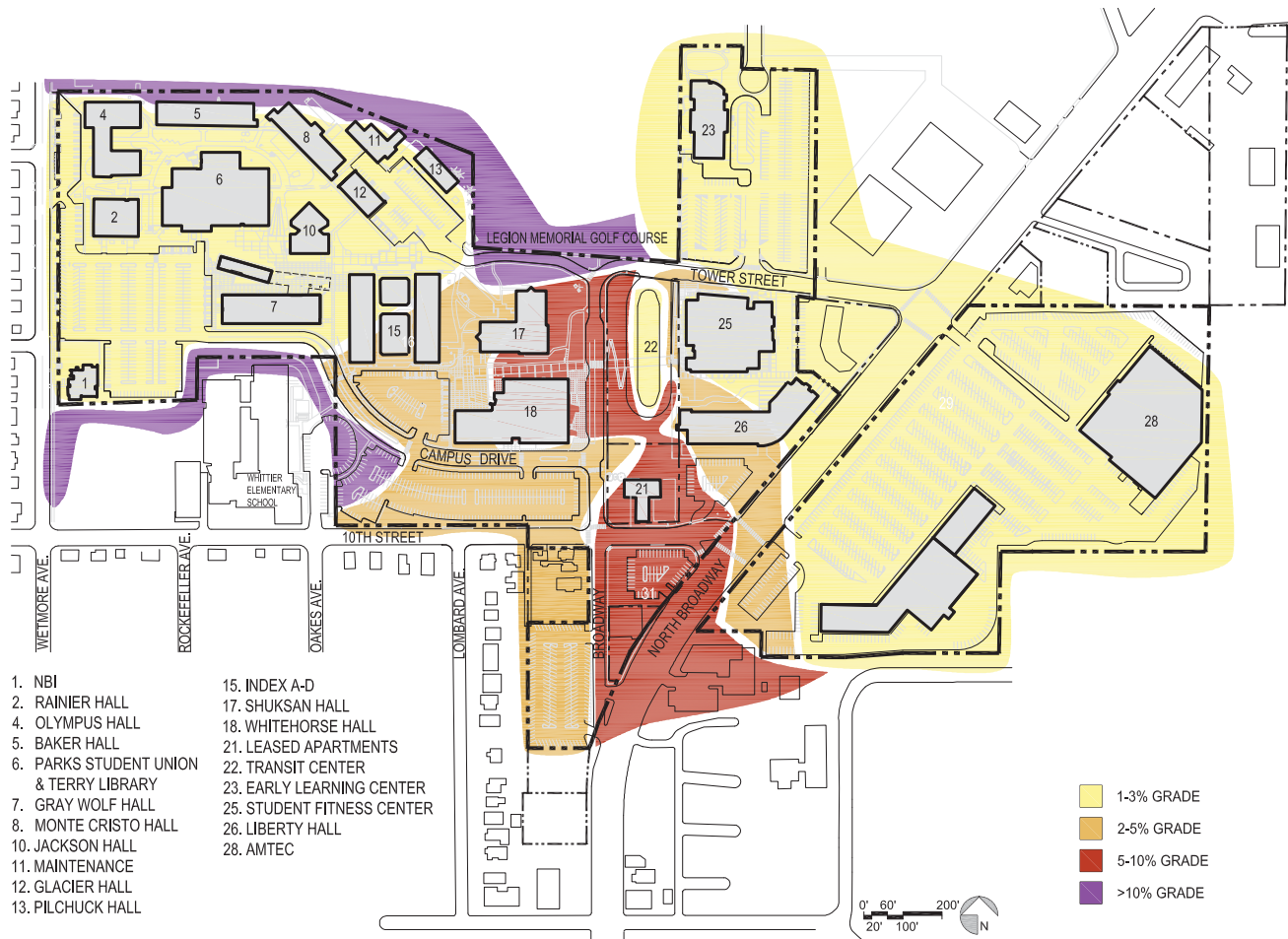
- Expansion space for Cosmetology Signature Salon
- Possible relocation of Cosmetology
- Satellite campus development in East County

Growth in off-campus locations will help meet the demand resulting from long-term expected enrollment growth. The Cosmetology program in Marysville is leasing space, which was recently remodeled. The program has seen increased enrollment and revenue since the remodel was completed. The program would like to open a retail establishment where advanced students could operate a Signature Salon space. Ideally, this space would be 4,500 to 6,000 square feet, and would be closer to campus. The location should have dedicated parking, good access to I-5, and proximity to the main campus. Once Providence vacates the AMTEC building, a portion of the building would be an option. The

majority of the program would remain in Marysville, or would relocate to a more suitable facility if one became available.

Satellite campus growth should be focused on one really great branch campus (in Monroe). The Lake Tye facility is sufficient for some programs, but lacks science and professional/technical facilities. The ultimate goal would be a facility where a student could complete an AA transfer degree entirely at the satellite facility. Ultimately, the College would like to have its own building for this campus; approximately 20,000 SF would be required, and would incorporate space for robust instruction and support for students, generous student spaces along with a welcoming atmosphere, and adequate faculty support spaces.

Longer term, the College will also need to explore leasing space in North County, near Arlington.



- 1. NBI
- 2. RAINIER HALL
- 4. OLYMPUS HALL
- 5. BAKER HALL
- 6. PARKS STUDENT UNION & TERRY LIBRARY
- 7. GRAY WOLF HALL
- 8. MONTE CRISTO HALL
- 10. JACKSON HALL
- 11. MAINTENANCE
- 12. GLACIER HALL
- 13. PILCHUCK HALL
- 15. INDEX A-D
- 17. SHUKSAN HALL
- 18. WHITEHORSE HALL
- 21. LEASED APARTMENTS
- 22. TRANSIT CENTER
- 23. EARLY LEARNING CENTER
- 25. STUDENT FITNESS CENTER
- 26. LIBERTY HALL
- 28. AMTEC

S.M. STEMPER ARCHITECTS
A Professional Limited Liability Company

Campus Topography

LAND USE

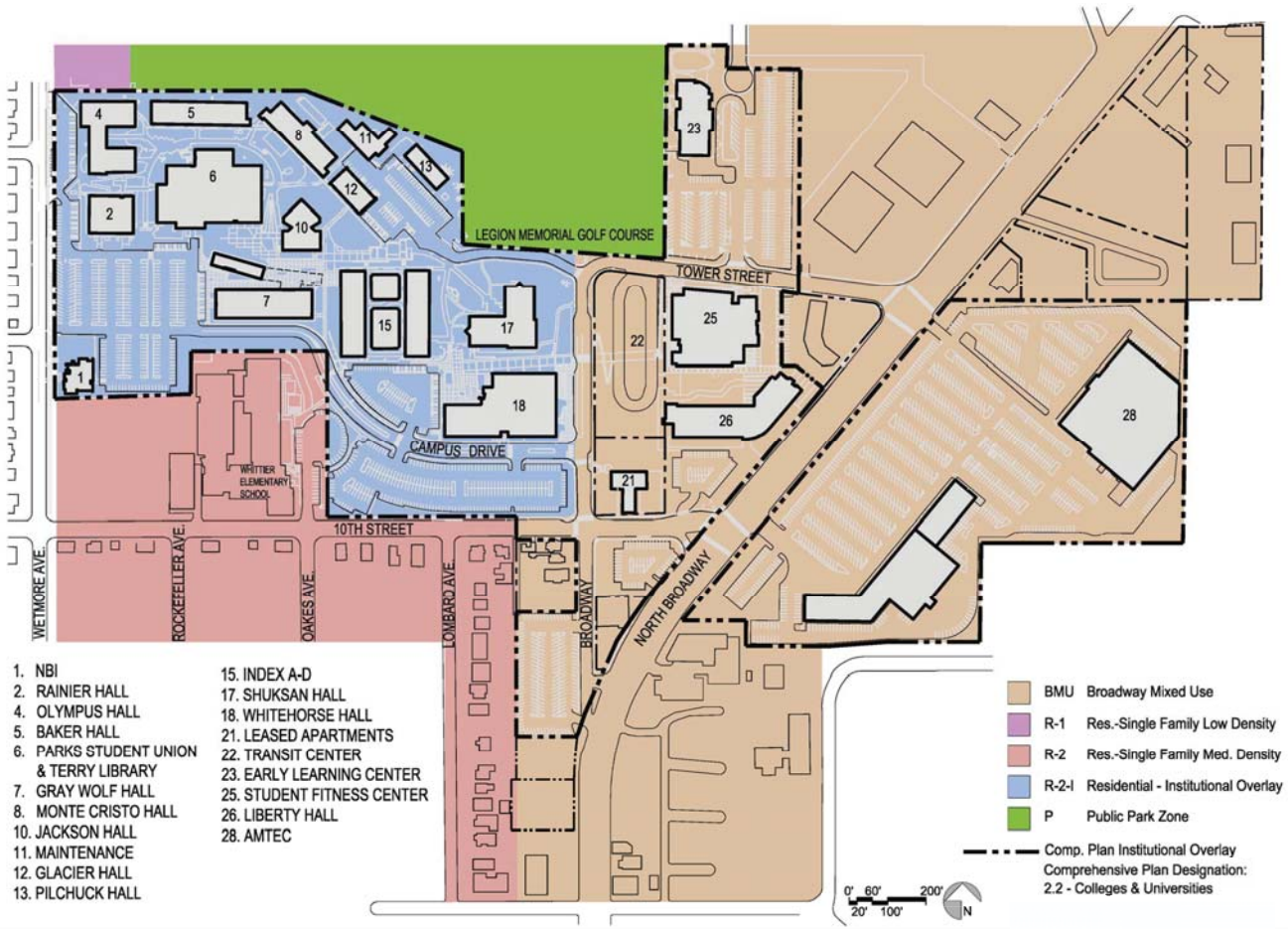
Everett Community College is committed to maintaining its strong partnership with planning authorities in the city of Everett, and ongoing development is intended to support goals shared with the City. College development described by the Master Plan was incorporated into the city of Everett Comprehensive Plan in 2005 and updated in 2007.

All existing and planned future campus buildings lie within the limits of the city of Everett. Campus development is subject to the city’s Municipal Code which describes setbacks, general building locations, height limits and other development standards for conditions not addressed in the Comprehensive Plan

and the Institutional Overlay district. Proposed building development not covered by the Comprehensive Plan must seek to amend the plan for either an individual building project or the campus as a whole.

The underlying zoning of the EvCC campus is Residential (R-I) and Broadway Mixed Use Zone (BMU), with an Institutional Overlay; the portion of the College adjacent to North Broadway/Highway 99 is also subject to the requirements of the Broadway Mixed Use Zone. The Comprehensive Plan designation of the College is “2.2 College & University.”

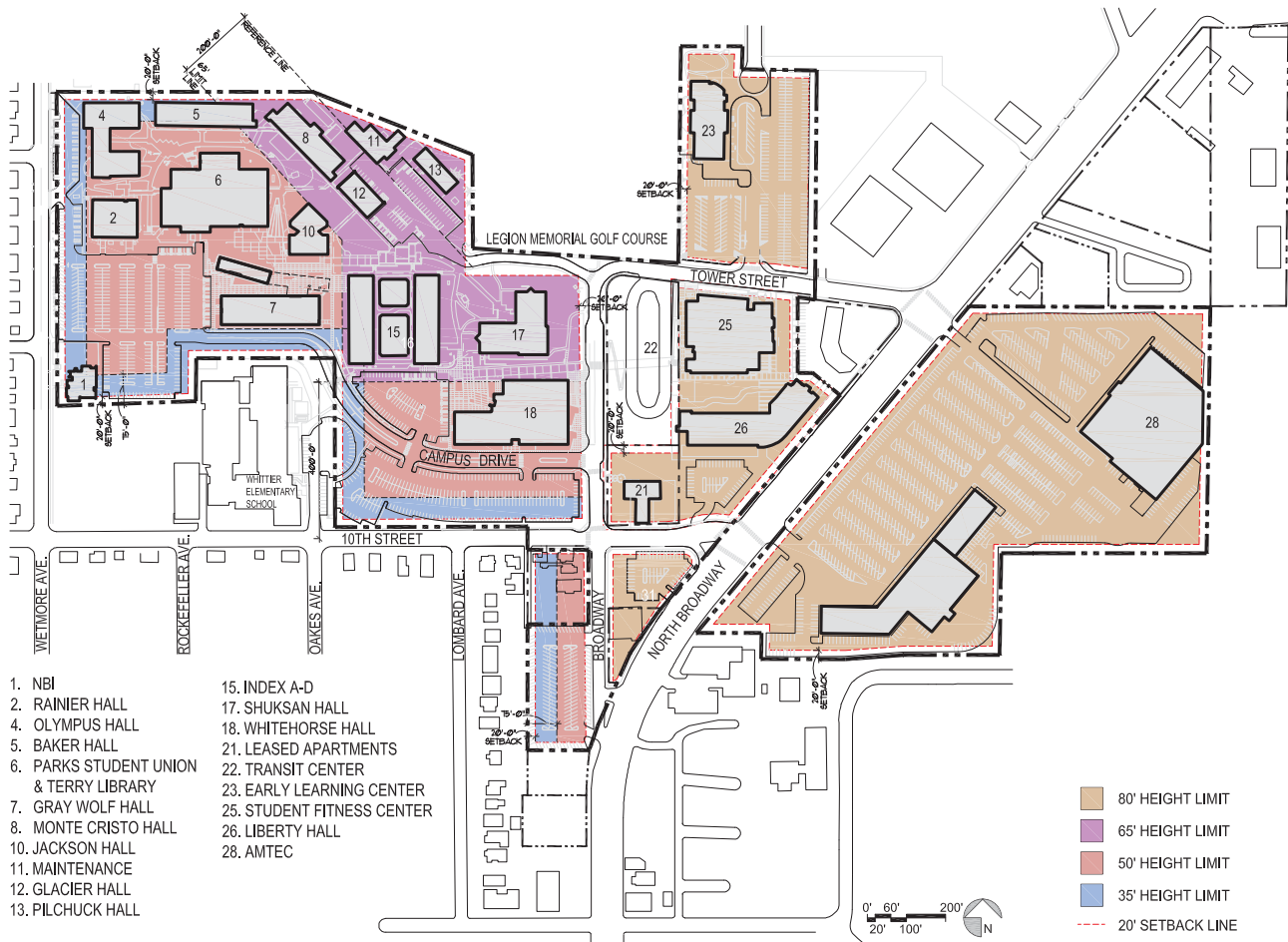
The Broadway Mixed Use Zone is described in Chapter



S.M. STEMPER ARCHITECTS
A Professional Limited Liability Company

City of Everett Zoning

31A of the Everett Municipal Code (see Appendix). The intent of this zoning is to improve the character and quality of development in this area. Requirements of the EvCC Institutional Overlay take precedence, but the standards of the BMU Zone are encouraged to promote the desired pedestrian-friendly character of Broadway. Landscape standards are of special importance to the City.



S.M. STEMPER ARCHITECTS
 A Professional Limited Liability Company

Setback Requirements and Height Limits

SETBACKS

The City of Everett requires a minimum setback of 20' from the College's property line. In some cases, existing buildings are non-compliant.

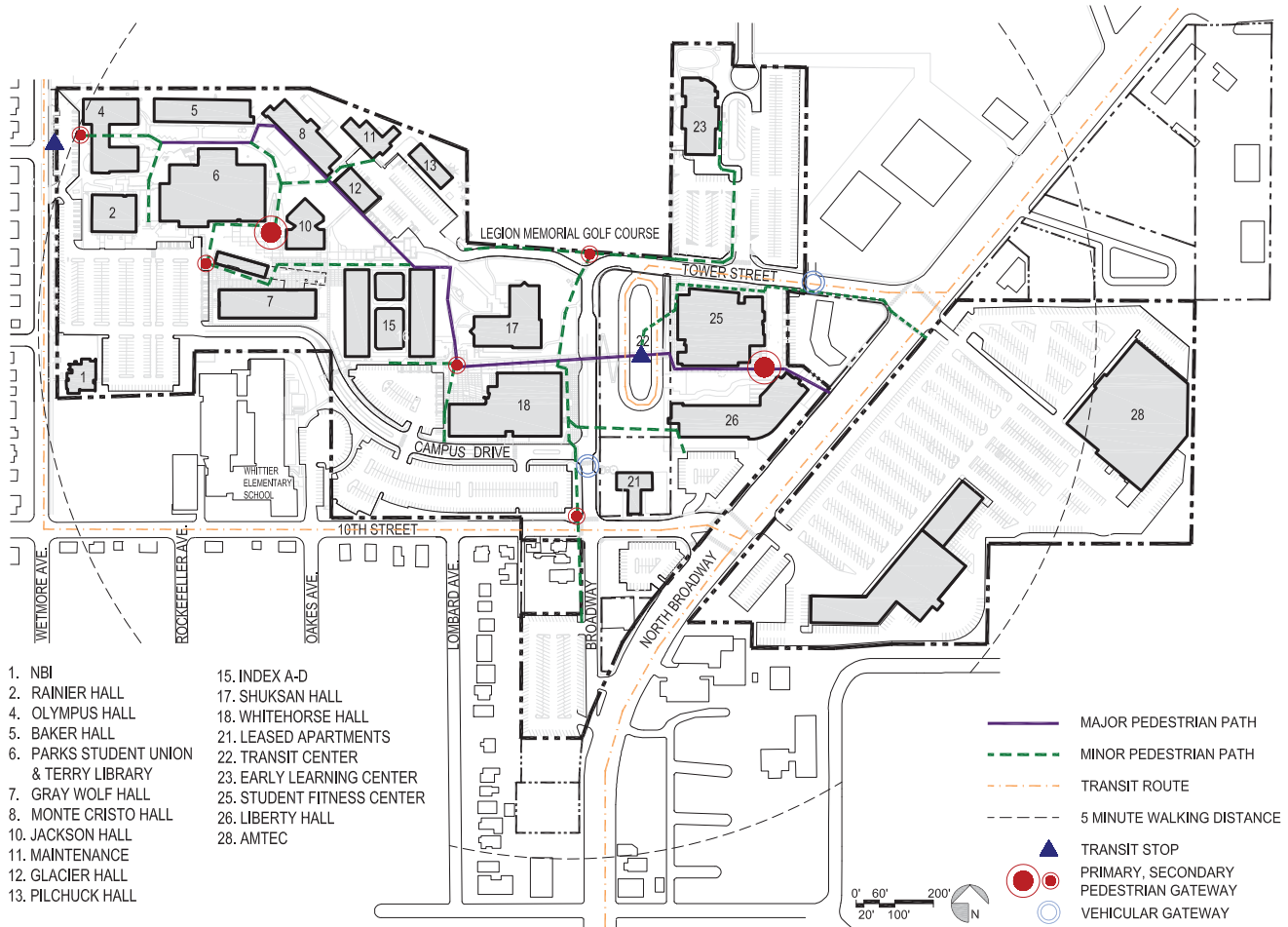
HEIGHT LIMITS

Building height limits vary according to location on the EvCC campus. For 55' beyond the 20' setback noted above, portions of campus adjacent to residential areas are limited to 35' height. Beyond 75' from the property line it increases to 50' for much of upper campus, with taller structures (up to 65' in height) allowable adjacent to the Legion Memorial Golf Course. Building height is limited to 80' near and along North Broadway; within the BMU zone, increased allowable heights may be earned

through incorporation of sustainable building and low impact development practices.

LOT COVERAGE

The Everett Municipal Code does not specifically limit building footprints or site development as a percentage of overall site area. With completion of the Liberty Hall (2013), building coverage of the site is approximately 19%, while total site development, including building footprints and hardscape development, is approximately 85%.



S.M. STEMPER ARCHITECTS
A Professional Limited Liability Company

Campus Circulation and Gateways

CAMPUS CIRCULATION

The Everett Community College campus is organized around a meandering “Main Street,” a central pedestrian spine that links the original buildings of the upper west end to newer buildings, across the North Everett Transit Center, to recent buildings in the Triangle area, such as the Fitness Center to the east. Main Street’s de facto terminus is the landscaped courtyard formed by the Fitness Center and Liberty Hall. In addition to creating a varied and active pedestrian connection through the center of campus, Main Street also serves to separate pedestrian and vehicular circulation for improved pedestrian safety.

As foot traffic across North Broadway increases once the AMTEC and WSU projects are complete, center islands in North Broadway, may be created to ensure the safety of students and faculty moving east and west across the campus. The boulevard concept would slow traffic and create a refuge for those crossing the street at grade. A mid-block pedestrian crossing should be considered as part of the boulevard concept, to create a safe place to cross for pedestrians who have reached the end of the pedestrian spine. Improvements at the Tower/North Broadway intersection might include an all-pedestrian



Vehicular and directional signage

crossing. The boulevard will also create a welcoming atmosphere for the campus, and should extend to beautification along both sides of the street as well. The process has begun with the landscaping at Liberty Hall, and will continue when the WSU building is constructed, as landscape improvements will need to meet City standards. In addition, there is a desire for a pedestrian bridge across Broadway, which ideally would tie into the WSU building to decrease infrastructure requirements.

The completion of the North Everett Transit Center in 2006 brought improved public transit service to the EvCC campus. According to the Commute Trip Reduction Plan (see Appendix), approximately 3% of students, faculty and staff arrived on campus via public transit in 2009. "Millennial" and younger students are less likely to own private vehicles, and transit use is anticipated to increase steadily, reducing the rate at which future parking must be provided.



Aerial view of the North Everett Transit Center

TRANSPORTATION AND PARKING

Everett Community College strongly supports the use of public transit and other alternatives to single occupant private automobiles. Currently served by Everett Transit Center, the College will work with other transit agencies, including Community Transit, to optimize transit service to the campus and the North Everett Transit Center. Secure bicycle parking, both covered and open, is provided and will be expanded.

Both the College and the City of Everett support provision of the minimum feasible number of parking stalls (approximately 0.5 stalls per FTE student) to encourage use of public transit, carpools, and other alternate modes of transportation. However, most students, staff, and faculty currently arrive on campus by car, making provision of adequate parking a significant concern for the campus community and its neighbors. Recent parking studies show a parking deficit of approximately [293] stalls at the completion of Liberty Hall in 2013 (see Appendix).

Each new project on campus is expected to help reduce this deficit. Opportunities for further development of surface parking are limited, although the College continues to acquire property that can serve in the short term as surface parking; these properties constitute a land bank for long term future building development as needed. Significant future enrollment growth may lead to consideration of structured parking facilities as well as expanded transit service.



Bike storage shed, Everett Transit bus; right, students at a bike rack

SUSTAINABILITY

In 2009, Everett Community College became a signatory to the American College & University Presidents' Climate Commitment. Responsible stewardship of its lands and the larger environment is a core value of Everett Community College, and the creation of a sustainable physical environment is an important strategic objective. The College offers multiple certification and degree programs in sustainable practices.

Facilities development on the campus will occur within an integrated framework of design, construction, maintenance and demolition practices that is mindful of the environmental, economic and social impacts of that development. Campus design standards for site and buildings systems will integrate sustainable practices.

Recent projects demonstrate implementation of high-building performance strategies that conserve resources and reduce negative environmental impacts that can result from building construction and operation. Sophisticated control systems coordinate natural

ventilation with mechanical systems to provide fresh air and maintain occupant comfort. Water use is reduced both indoors and out with use of low-flow plumbing fixtures and choice of drought-resistant landscaping materials. Installation of rain gardens helps to recharge the area's underground aquifer while reducing storm water treatment loads. Extensive use of daylighting and sophisticated controls reduce electricity use for lighting. Building materials are selected for their durability, ease of maintenance, and minimal impact on air quality, transportation costs and use of renewable resources.

2005 Executive Order 04-06 requires that state-funded buildings pursue at least a 'Silver' rating in the US Green Building Council's voluntary Leadership in Energy and Environmental Design (LEED) rating system. Visibly sustainable building elements are encouraged to reinforce sustainable initiatives in the College curriculum and operations.



left, Parks Student Union Stairs, simple, elegant universal design, right, Rain Gardens on campus

ACCESSIBILITY

The State Facilities Advisory Committee (SFAC) was established by a Governor's Executive Order to provide advice regarding access issues for state owned and leased facilities. With universal design, the products and environments that result will be usable by all people to the greatest extent possible without the need for adaptation or specialized design. The design should:

- be equitable,
- be flexible in use,
- be simple and intuitive,
- inform easily and be effectively perceived,
- minimize hazards and errors,
- be used with low physical effort, and
- be appropriate in size and space for reach, manipulation and use regardless of user's body size, posture or mobility.

Universal design, when considered early in environmental design projects, is cost effective and provides equal access for all. All projects, as well as any planning efforts, should work toward the goal of making the campus accessible.



- 1. NBI
- 2. RAINIER HALL
- 3. LEASED APARTMENTS
- 4. OLYMPUS HALL
- 5. DETENTION FACILITY
- 6. PARKS STUDENT UNION
- 7. GRAY WOLF HALL
- 8. MONTE CRISTO HALL
- 10. JACKSON HALL
- 11. MAINTENANCE
- 13. PILCHUCK HALL
- 16. LEARNING RESOURCE CENTER
- 17. SHUKSAN HALL
- 18. WHITEHORSE HALL
- 19. LEASED APARTMENTS
- 20. LEASED APARTMENTS
- 21. LEASED APARTMENTS
- 22. TRANSIT CENTER
- 23. EARLY LEARNING CENTER
- 25. STUDENT FITNESS CENTER
- 26. LIBERTY HALL
- 28. AMTEC
- 29. WSU BUILDING
- 30. NEW BLDG W/ STRUCTURED PARKING
- 31. COFFEE SHOP & DRIVE-THROUGH
- 32. BOULEVARD
- 33. NEW BUILDING - WSU OR EVCC

- FOREST/HILLTOP THEME
- HILLS/EAST SLOPE THEME
- VALLEY/WATER THEME
- LOWLAND FOREST/WATER'S EDGE THEME

S.M. STEMPER ARCHITECTS
A Professional Limited Liability Company

Landscape Concept Plan

SITE + LANDSCAPE DEVELOPMENT

The overall strategy for the Everett Community College landscape planning is to enhance learning and social interaction throughout the campus. Landscape goals for the campus include:

- Enhancing unique qualities of the campus to make it legible, safe, secure and welcoming.
- Utilizing the entire campus as a learning and community oriented facility.
- Developing the campus to exemplify the principles of effective resource management.

Existing mature trees, such as those found in the College's arboretum, will be retained.

The City of Everett's Broadway Mixed Use Zone includes specific requirements for publicly accessible open space, art or water features, and other sustainable features. The College will develop property consistent with these ideals.

CAMPUS DEVELOPMENT

Campus development will include a range of sustainable practices, including: storm water management, drought tolerant planting, adjustments to irrigation and special paving materials.



Right, conifers & mixed native vegetation; left, mixed deciduous & evergreen natives

STORM WATER

By using low impact development guidelines as recommended by the city of Everett, the College intends to maintain and enhance the natural flow of water on developable sites.

The College will employ sustainable storm water strategies such as rain gardens or infiltration to enhance environmental awareness, create educational opportunities and decrease infrastructure costs.

PLANT MATERIALS

Hardy, drought tolerant native and non-native acclimated ornamental plants will be selected for their ability to survive dry summers, cold winters, and low maintenance. The planting composition in parking lots, plazas, buffers, and the building perimeters will use a simple, yet attractive palette of shapes, textures, colors and scents; once established, these plants will not require routine irrigation. Only plants readily available and common in the Northwest landscape trade will be used. Strategic planting of trees will reduce heat gain at building walls, parking lots and paved areas. See plant list in Appendix.



Left, deciduous trees near Jackson Hall; right, bridge near Nippon Business Institute

IRRIGATION

Underground automatic systems are necessary to ensure plant survival during their first few years after installation and thrive in the long term. The irrigation controller will be scheduled to conserve water by restricting the amount of water necessary for proper plant establishment and low volume, drip systems will be applied as practical.

HARDSCAPE AND PAVING

Paving materials will be durable cast concrete with architectural finishes, and stone or precast modular pavers that optimize the multi-modal access for pedestrians, vehicles and service; reduce heat islands; and potentially serve as a component of the storm water management. Other hardscape elements include: seat walls that serve to define outdoor spaces while providing gathering places, terraced walls and steps configured to address topographic change across the campus and integrated and free standing art installations.

CAMPUS THEMES

The campus is organized according to the following planting themes (see Appendix for a palette of plants indicating character and intent):

Upper Campus

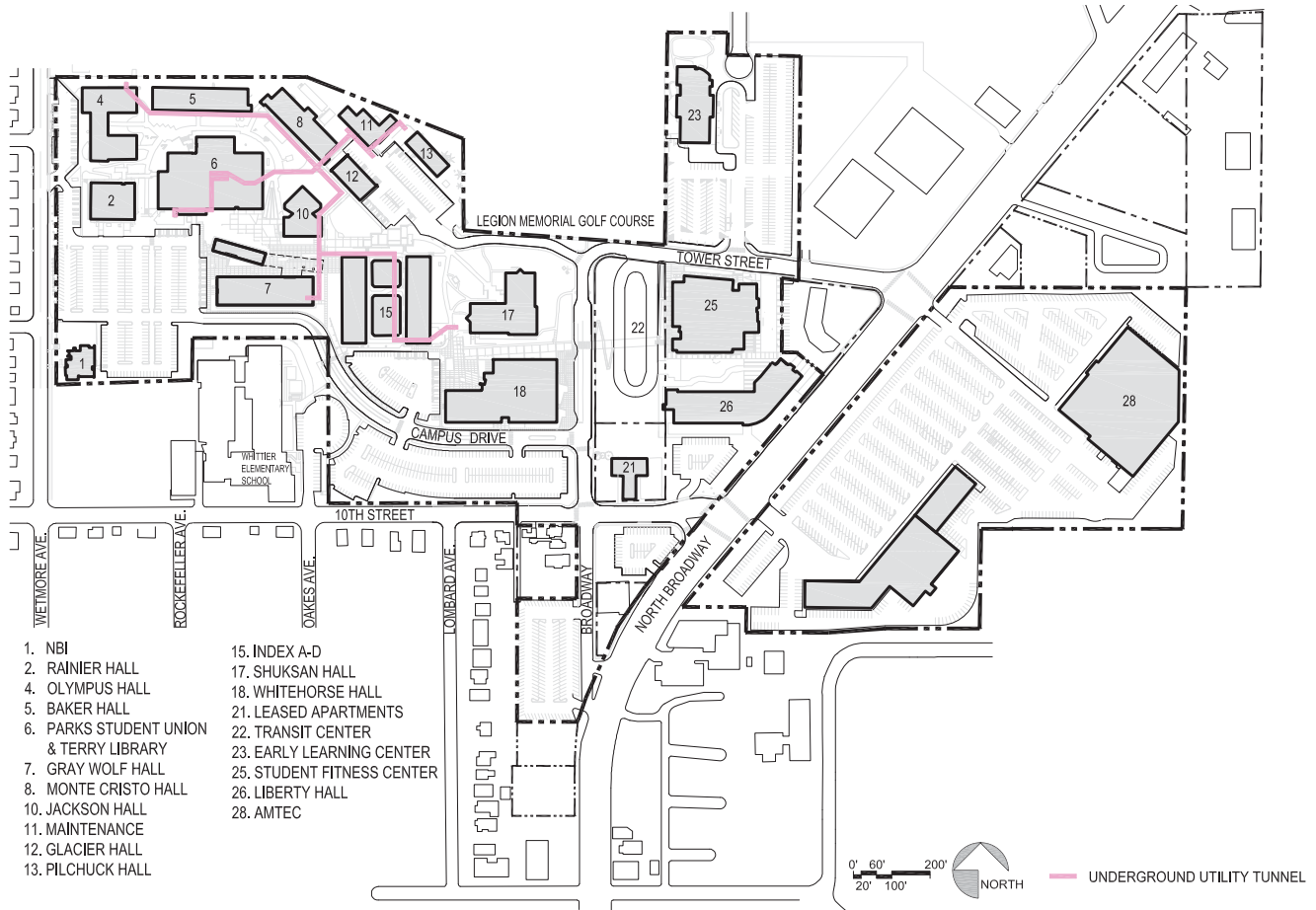
Rustic, native, naturalistic, sense of both refuge and outlook; glen in a mixed forest, native and naturalistic understory.

Middle Campus

North Temperate Slope, urban fringe, semi refined; forest edge with both native and ornamental plantings.

Lower Campus

Lowland Forest and water's edge / urban interface; groves of native trees, naturalistic and water-edge plantings contrast with urban streetscape plantings.



S.M. STEMPER ARCHITECTS
A Professional Limited Liability Company

UtilityTunnel System

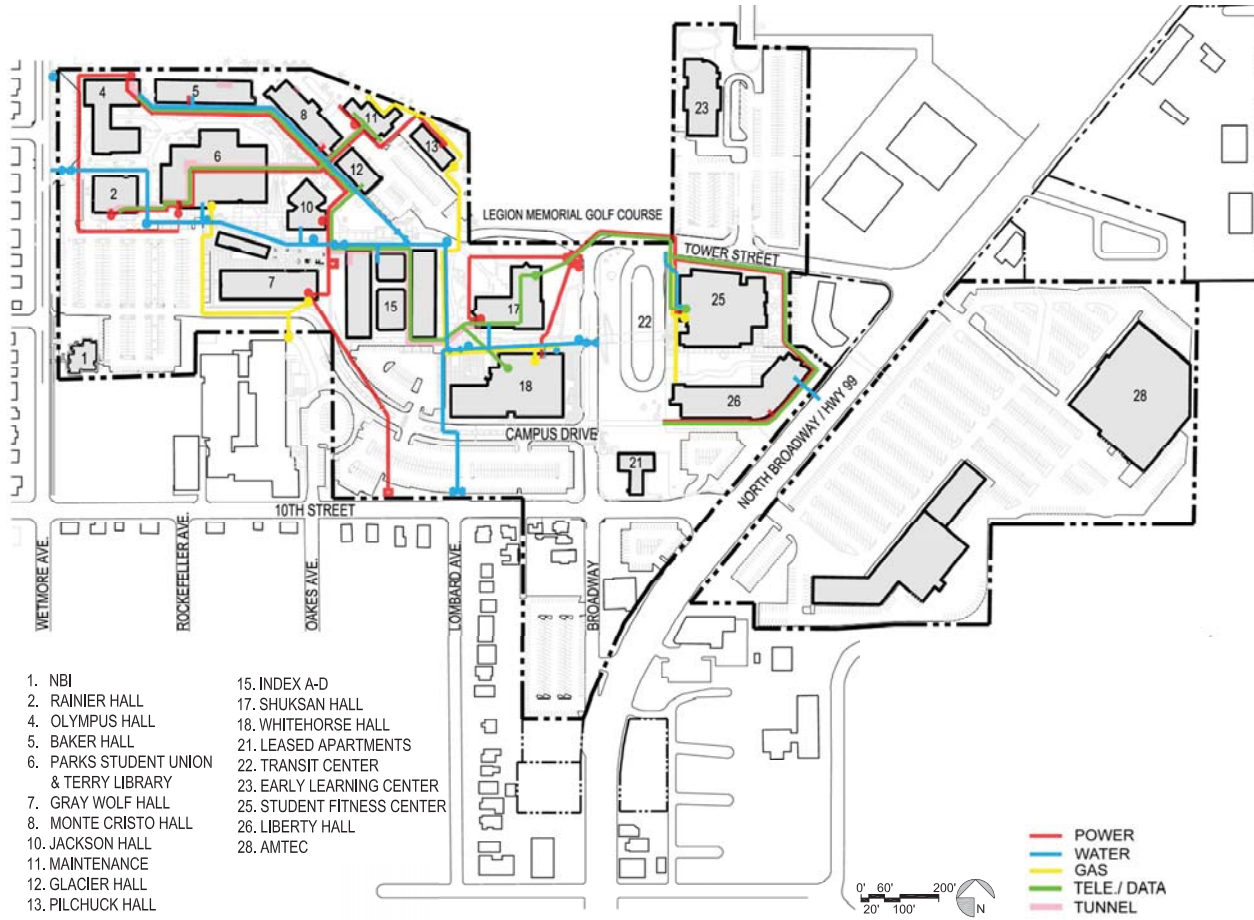
UTILITIES

All EvCC buildings are connected to the Snohomish County Public Utility District #1 (PUD) electrical grid. EvCC's current annual electrical usage (January-December 2013) is 5,730,468 kWh. The College is implementing a strategy to create a campus power loop that allows localized power shutdowns that do not impact the entire campus. The loop is being extended to the east (lower campus) as projects are constructed in that precinct. So far, the loop has been extended to Liberty Hall via the Fitness Center, and will be closed at some point in the future.

Puget Sound Energy (PSE) provides natural gas to the campus. Some buildings on campus are connected to the main campus boiler system, which runs on natural gas.

Other buildings are all electric (Monte Cristo and the Early Learning Center). Many campus buildings have either been constructed with boilers separate from the main campus system on their own meter (Whitehorse, Gray Wolf, Fitness Center, and Liberty Hall) or have been retrofitted to have individual boilers (Jackson, Rainier, and Shuksan). From January to December 2013, EvCC's natural gas usage was 271,785 therms.

The existing central boilers are more than 55 years old, and have exceeded their useful life expectancy. The College has an ongoing program to replace existing HVAC systems connected to the central boilers with



S.M. STEMPER ARCHITECTS
A Professional Limited Liability Company

Campus Wet + Dry Utilities (see Appendix for enlarged Utility Plan)

localized condensing boilers. This will improve energy efficiency, and will ultimately allow relocation of the Maintenance building.

City of Everett Public Utilities provides water and sewer service to the campus. In order to reduce cost, EvCC has several “deduct” meters on campus where only irrigation exists. The aviation facilities at Paine Field are served by the Mukilteo Water District. January to December 2013 College water usage was 6,108 CCF.

In 2013, the College recorded 20,160 tons of waste hauled to an off-campus disposal site. The College has realized significant savings of both landfill space and cost result from a comprehensive co-mingled recycling

program that removes materials such as plastics, glass, aluminum and paper. In 2009, 24,820 tons of co-mingled materials were recycled.

Other notable recycling programs include recycling of CFLs and batteries via Snohomish County Solid Waste and fluorescent bulbs via Ecolights NW. Food waste from the kitchens in Parks Hall and the Early Learning Center is composted by Cedar Grove Composting.



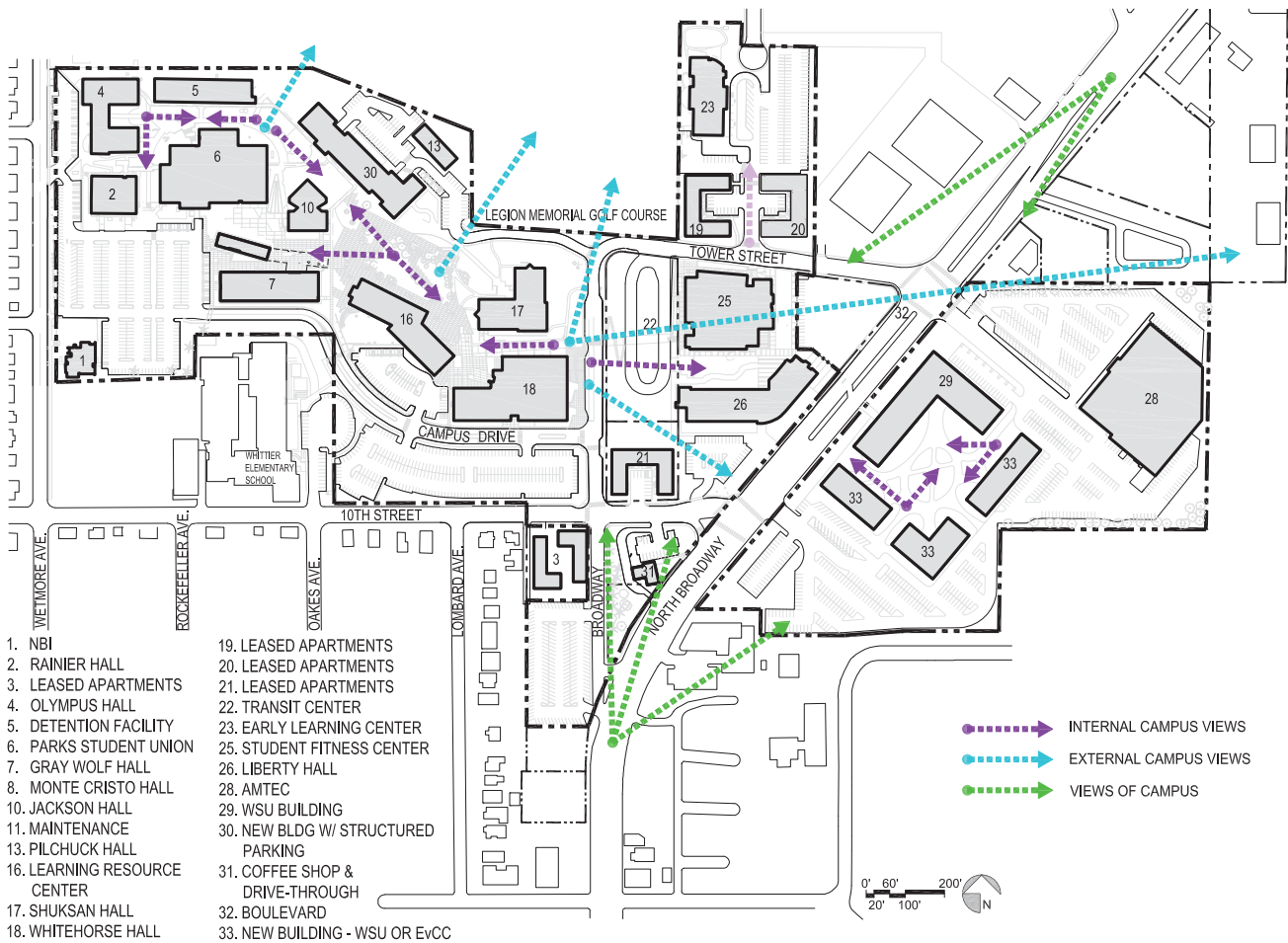
Whitehorse Hall, designed to maximize daylighting opportunities

BUILDING SYSTEMS

Building systems will be designed to assure ease of operation and maintenance and compatibility with existing systems and controls. Building systems will be designed to take advantage of the benign climate of the Puget Sound Region and to minimize energy use.

Design strategies include use of daylighting, photovoltaic panels, passive ventilation systems, and other kinds of energy-efficient equipment; where programmatically feasible, elimination of mechanical cooling is recommended. The region is subject to dry summers

as well as recurring drought, and building systems should also be designed to minimize water use; design strategies include low- or no-irrigation landscaping, and low-water use sanitary fixtures. Lighting design should optimize light quality, energy conservation and ease of maintenance; lighting design should minimize variety and cost of lamp types required within a given building.



S.M. STEMPER ARCHITECTS
 A Professional Limited Liability Company

Internal campus views, external distant views, and views to the main entrance

BUILDING DESIGN

BUILDING ORIENTATION

Buildings should have multiple entries to facilitate easy movement around the campus. Entries should be located on grade, and should be clearly expressed; entries should engage and enhance the character of adjacent open spaces and courtyards. Where possible, faculty offices should be oriented to take advantage of spectacular views to North Cascades.

New buildings should be oriented to optimize opportunities for energy conservation, daylighting and passive ventilation. In general, the orientation of the primary building axis within 15 degrees of an east-west line facilitates use of fixed exterior sunshades to control light and glare and enhances daylight penetration into the building; open space between buildings to allow use of passive ventilation strategies is also critical.



Mountain views of the North Cascade Mountains

BUILDING MASSING

The relationship of buildings to the open spaces they define is critical in maintaining the character of the campus; all building projects should incorporate development of related open space areas. Building massing should clearly express building entries and gathering places, provide transitions from inside to outside, and offer protection from inclement weather.

Building massing should establish and reinforce an intimate, pedestrian scale for the campus. It should optimize opportunities for energy conservation, daylighting and natural ventilation. Very deep floor plates (greater than 80') are strongly discouraged unless there is a compelling programmatic need.

BUILDING ENVELOPE

Building envelopes should be designed to minimize mechanical loads and to achieve the highest degree of energy efficiency feasible; an Energy Use Index (EUI) of less than 30 is strongly recommended. New buildings should be as air tight as possible, with excellent thermal values and roof reflectance. Windows and other openings in exterior walls should be thoughtfully placed to enhance comfort and energy performance and to create visual connections between interior spaces and the landscape or views beyond. The use of external shading elements to control light and glare is encouraged. The use of entry canopies and other devices to provide ground level covered exterior space is also encouraged where appropriate to building activities.

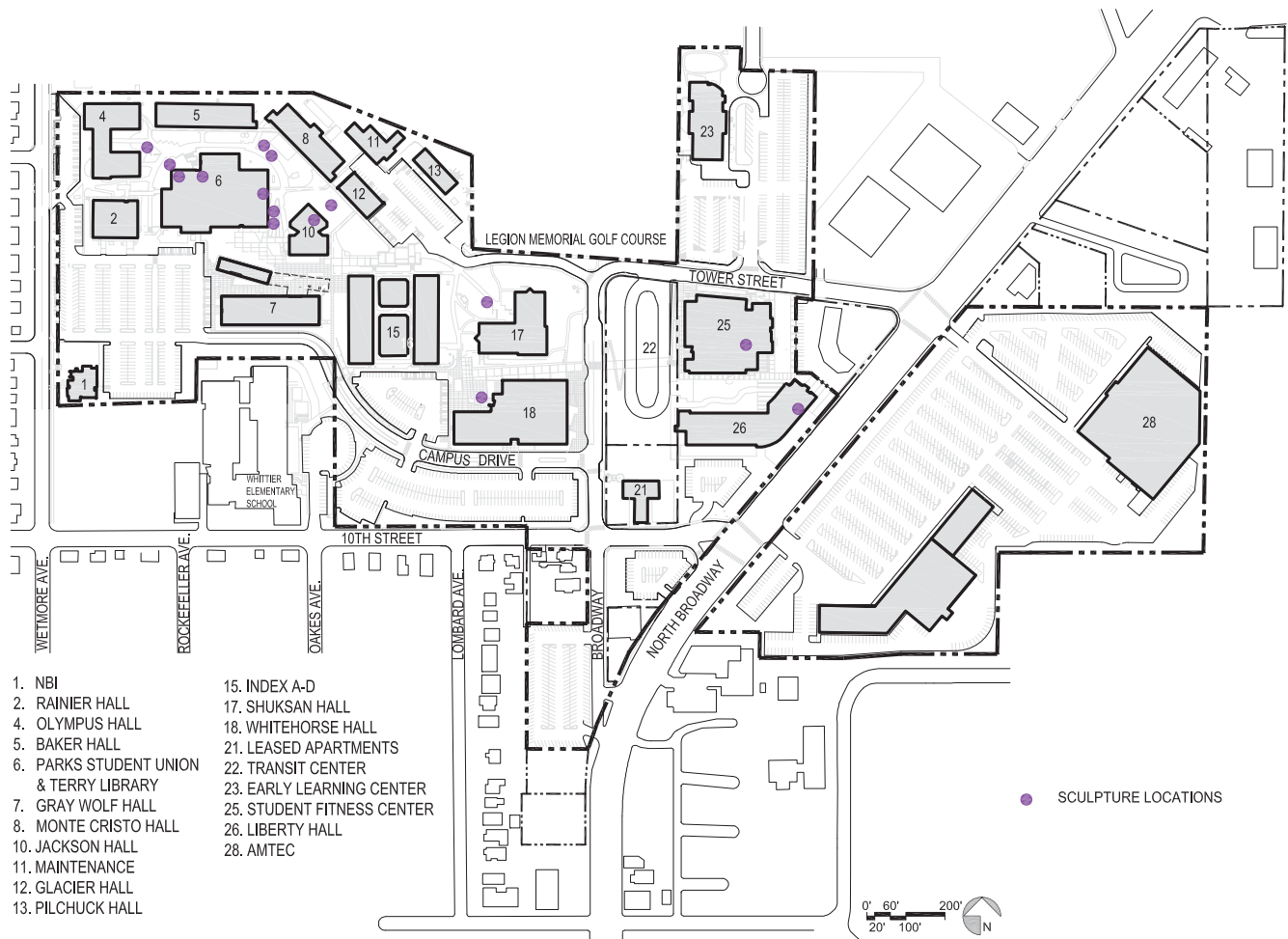


Learning happens everywhere

MATERIAL PALETTE

Building materials should be appropriate to the dignity of Everett Community College as an institution. They should express a sense of value, substance and permanence. The use of brick as an exterior cladding material, in combination with other materials, is encouraged to create a sense of visual continuity across the Campus. Materials should be selected for their innate longevity, ease of high quality installation, and minimal maintenance requirements. Materials should be used and combined in a manner that expresses their natural state and that is sympathetic with the materials and detailing of

neighboring buildings. Materials and systems should be free of components that adversely affect the environment in their manufacture, installation or long term use. Detailing should embrace the contemporary use of technology and emphasize the integrity of the materials. Materials and detailing should be consistent with the design standards of the College and with the intention of creating appealing, long-lived healthy buildings.



S.M. STEMPER ARCHITECTS
A Professional Limited Liability Company

Campus Sculpture Collection

ARTS ON CAMPUS

Everett Community College enthusiastically supports the Art in Public Places program which is administered by the Washington State Arts Commission to facilitate the acquisition and placement of artwork in publicly accessible places. The program for Washington colleges and universities, funded by 1/2 of 1% of state funded project construction costs, is the second oldest in the nation. It applies to renovation projects exceeding \$200,000 and all new construction.

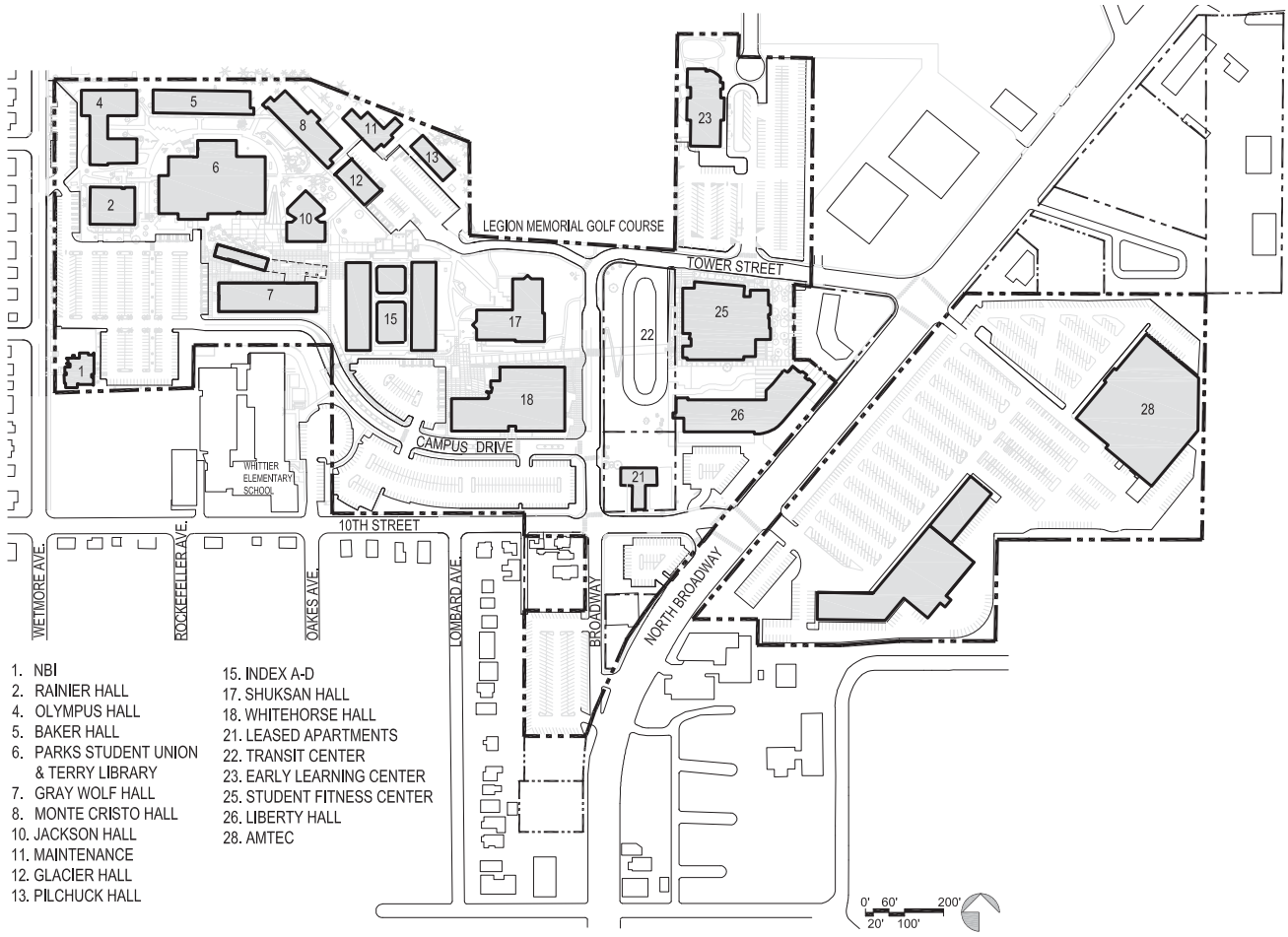
To integrate art into the campus in meaningful ways, the College will continue to commission work that relates strongly to both its educational mission and its physical context. The College encourages collaboration of artists with architects, landscape architects and planners as well as with students and faculty to integrate pieces into the curriculum and physical framework of the campus; participation by artists in the creation of functional elements such as building elements or site furniture is also encouraged.



Top left, EvCC students at the Feather Star; top right, Totems outside Parks Student Union Lower, "Loops, Knots and Spirals" at the Student Fitness Center (2010).

The Art Collections Committee was established in 2004 to create a formal group that is responsible for organization, conservation, acquisitions, and programming. This committee includes representation from administration, faculty, staff, and the student body. The committee has been successful in establishing a loaned sculpture program that brings new art work to the campus on a regular basis and has worked with

administration to ensure that locally funded building projects (such as the Student Fitness Center) also earmark a percentage of construction costs for art work. Committee projects have included the purchase of student and faculty art work.



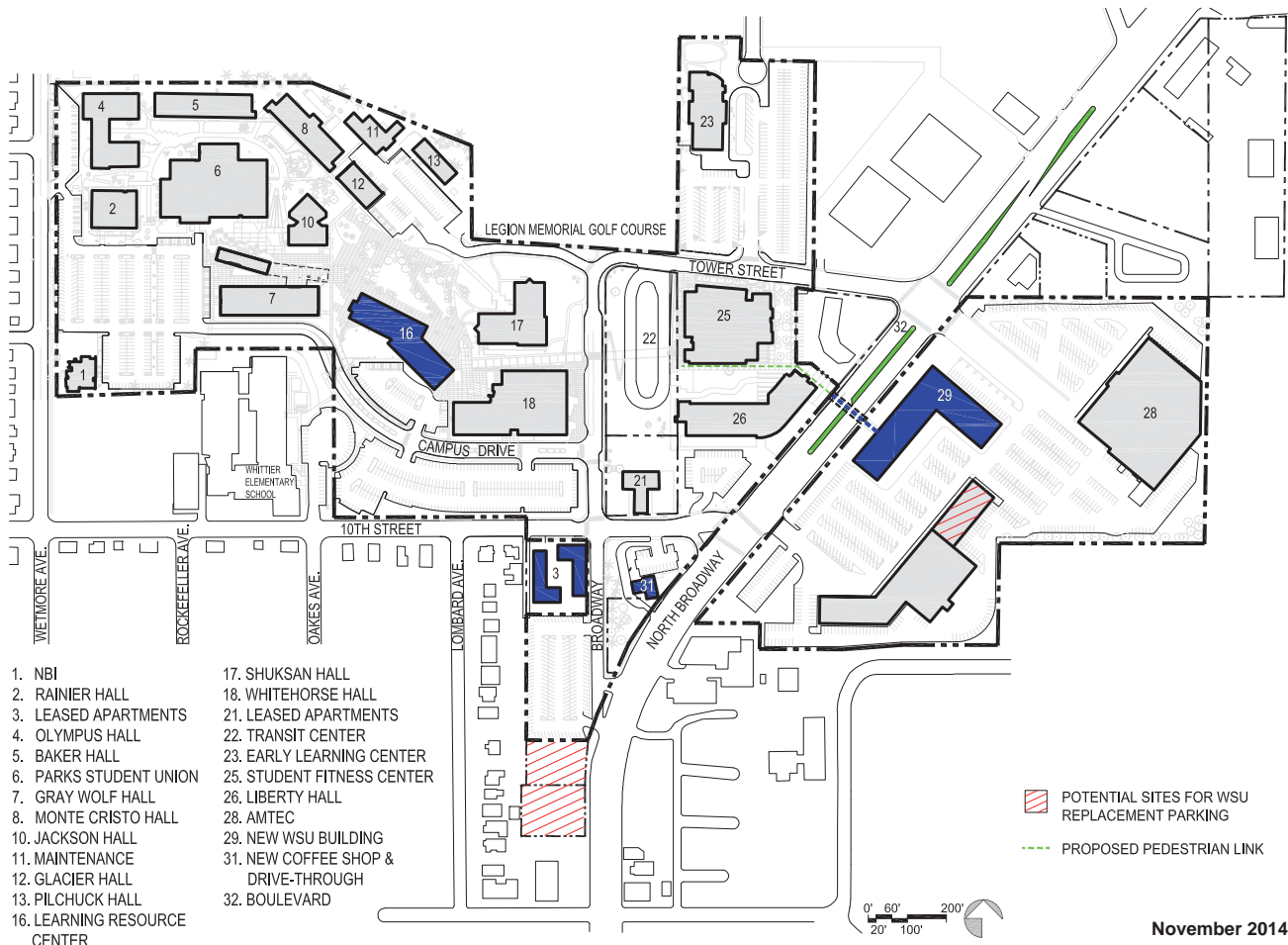
S.M. STEMPEL ARCHITECTS
 A Professional Limited Liability Company

Campus Master Plan current conditions

CAMPUS MASTER PLAN IMPLEMENTATION

Implementation of the EvCC development recommendation will be phased over a 20-50 year period. The Long Range Master Plan is designed to support an eventual enrollment of approximately 15,500 FTE students. This will significantly develop the College Plaza property east of North Broadway, allow for WSU partnership and growth, and replace obsolete older buildings at the west end of the campus. Continued expansion of public transit service to North Everett will reduce student and faculty/staff dependence upon private automobiles, but construction of structured parking and shuttle service will need to be considered to meet the demand at full build-out of the campus.

Near term development to achieve the mid range plan focuses on the introduction of WSU to the campus, developing student housing, and replacement of the inadequate existing Terry Library in Parks Hall with a new Learning Resource Center. Parking that is displaced by the WSU building will be replaced on nearby parcels, which WSU is in the process of acquiring. The old Index Quadrangle will be demolished to make way for the Learning Resource Center. Olympus Hall will be renovated, preserving the original campus entry, and extending the useful life of the building many years into the future. Near term planning also includes ongoing



November 2014

S.M. STEMPEL ARCHITECTS
A Professional Limited Liability Company

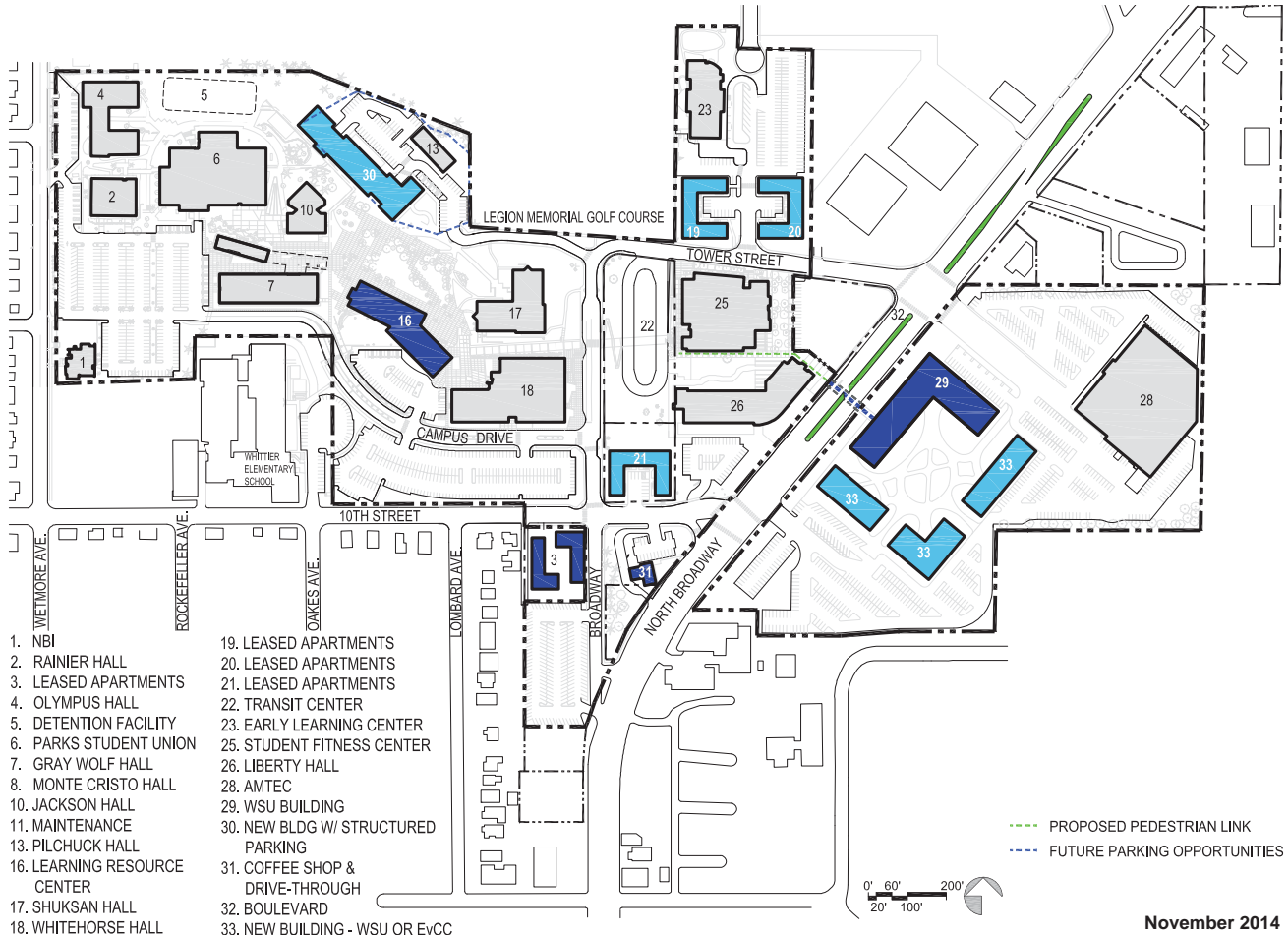
Mid-Range Campus Master plan

replacement of existing HVAC systems linked to the central boilers with localized condensing boilers within individual buildings; in addition to improving campus-wide energy efficiency, this strategy is designed to allow demolition of existing central boilers and eventual relocation of maintenance facilities.

The vacated space in the first floor of Parks will be utilized by programs within the building that need more space, and that are currently housed in obsolete buildings (i.e. the Testing Center in Glacier). The Expansion of Student Services project will be funded with Minor Works funding, and will improve program delivery by consolidating Student Services in Parks, and by providing expansion for cramped programs. When the University Center vacates

Gray Wolf upon relocation to the WSU building, the space there will be repurposed for the administration for Instruction and Student Services (the VP and associated staff).

Longer range campus development will see replacement of the most of the remaining original campus buildings. Baker Hall will be replaced with a more energy efficient building that provides instructional space, faculty offices, and a performance space. Structured parking beneath the instructional space will allow for the College to make up some of the parking deficit that currently exists. A detention facility for storm water may be located on the old Baker site, which will help resolve some drainage issues facing the campus.



- 1. NBI
- 2. RAINIER HALL
- 3. LEASED APARTMENTS
- 4. OLYMPUS HALL
- 5. DETENTION FACILITY
- 6. PARKS STUDENT UNION
- 7. GRAY WOLF HALL
- 8. MONTE CRISTO HALL
- 10. JACKSON HALL
- 11. MAINTENANCE
- 13. PILCHUCK HALL
- 16. LEARNING RESOURCE CENTER
- 17. SHUKSAN HALL
- 18. WHITEHORSE HALL
- 19. LEASED APARTMENTS
- 20. LEASED APARTMENTS
- 21. LEASED APARTMENTS
- 22. TRANSIT CENTER
- 23. EARLY LEARNING CENTER
- 25. STUDENT FITNESS CENTER
- 26. LIBERTY HALL
- 28. AMTEC
- 29. WSU BUILDING
- 30. NEW BLDG W/ STRUCTURED PARKING
- 31. COFFEE SHOP & DRIVE-THROUGH
- 32. BOULEVARD
- 33. NEW BUILDING - WSU OR EvCC

November 2014

S.M. STEMPEL ARCHITECTS
A Professional Limited Liability Company

Ultimate Campus Vision Master Plan

Ultimately, the Master Plan envisions a new section of campus east of Broadway. The AMTEC building will be fully occupied by College programs, and a quadrangle will create a campus feel on the former shopping center site. The future buildings on the College Plaza site could be either WSU or EvCC buildings, or a combination, depending on program needs and growth over the span of the master plan. Pedestrian “Main Street” will link Upper Campus (west of “little” Broadway) with Middle Campus and a new quadrangle established at Lower Campus.

The pedestrian connection to Lower Campus must cross wide and heavily-trafficked North Broadway. It will prioritize pedestrian safety by utilizing either a signalized crossing at grade or a pedestrian bridge to separate vehicular and walking paths.

Off-campus, the enrollment growth outlined in the master plan will drive expansion. Satellite campus development will be focused in East County, with the ultimate goal of a dedicated facility for the branch campus in Monroe. Other growth would include the Signature Salon for the Cosmetology Program, potentially located in the former Providence Building, and potential relocation of the Cosmetology Program to a more desirable location.

APPENDIX CONTENTS

2008 Comprehensive Plan Update	43
Broadway Mixed Use Corridor Zoning Requirements	61
Comprehensive Design Sign Plan Review	85
Commute Trip Reduction Program	93
Enlarged Utility Plan	101
Landscape Plants by Theme	105

2008 COMPREHENSIVE PLAN UPDATE



ORDINANCE NO. 3089-08

**An Ordinance Amending Ordinance No. 2021-94,
as Amended, Amending the Comprehensive Plan Map
Designation from 1.3 (Single Family) and 4.4 (Mixed Use
Commercial – Multi Family) to 2.2 (Colleges/Universities),
and Adding The Institutional Overlay Zone to the Proposed
Expansion Area Located East of North Broadway, and West
of Broadway, South of the Existing Campus**

WHEREAS, the City of Everett adopted a new Comprehensive Plan in August, 1994, in conformance with the Washington State Growth Management Act; and

WHEREAS, the Growth Management Act, codified as Chapter 36.70A, allows for comprehensive plans to be amended on an annual basis; and

WHEREAS, The Growth Management Act requires the City to update its Comprehensive Plan at regular intervals; and

WHEREAS, Everett Community College (ECC) is an institution of higher learning located in both a residential neighborhood with residential zoning, and in the commercial area along Broadway with commercial zoning, and has expanded over time per the direction of the Comprehensive Plan; and

WHEREAS, the City initiated its 2007 annual comprehensive plan amendment process in July, 2007, which included consideration of Land Use Map amendments and rezone applications initiated by property owners; and

WHEREAS, ECC submitted an application for an amendment to the Land Use map for a 17 acre expansion area located east of Broadway and south of the existing campus on the west side of Broadway from 1.3 (Single Family) and 4.4 (Mixed Use Commercial – Multi Family) to Colleges / Universities (2.2), for the area indicated in (Exhibit A); and

WHEREAS, this action also includes a change in zoning for the expansion area from B-2 (Community Business) and R-2 (Single Family) to B-2-I (Institutional Overlay) and R-2-I (Institutional Overlay), depicted in Exhibit B; and

WHEREAS, the proposal is based on a Master Plan site revision submitted to the City by ECC that will extend the current Master Plan from 2011 to 2015, see Exhibit C, with a depiction at Exhibit D showing how the Master Plan expansion area could appear after full buildout.

WHEREAS, the Planning Commission held three opportunities for comment with public input and hearings on November 27, 2007, April 7, 2008 and June 2, 2008, where public testimony was received along with College and City Planning staff presentations were various aspects of the proposal were considered; and

WHEREAS, EMC 19.33B.030 allows the institutional overlay zone to be established only in conjunction with a master plan which generally specifies the parameters for development of the property; and

WHEREAS, the Everett Zoning Code provides for zones which allow institutional uses such as proposed by ECC for the entire campus area, including the existing area and the expansion area, to develop in accordance with height, setback and other standards established through a public review process as well as standards applicable in the underlying zone, as specified; and

WHEREAS, following the June 2, 2008, public hearing the Planning Commission recommended approval of the proposed map amendment, rezone and Master Plan revision with conditions that mitigate adverse impacts to the existing and anticipated land uses in the immediate vicinity of the campus; and

WHEREAS, City Council held a public hearing to consider the request at which time it took additional public testimony and heard presentations from staff and the applicant on August 20, 2008, after which the City Council made the final decisions as reflected by this Ordinance; and

WHEREAS, CITY COUNCIL FINDS:

1. As a school ECC is identified in the Comprehensive Plan as an “essential public facility.” The following Comprehensive Plan Objectives and Policies specifically apply to this proposal:

Policy 2.11.4 Future expansion beyond the approved 2011 development will require additional review by the City, which may consist of amendments to the Institutional Overlay zone and Comprehensive Plan amendments. ECC must work with the surrounding neighborhood residents in planning future expansions. The approved Everett Community College Master Plan provides for expansion to the east to North Broadway and the north along Tower Street.

Objective 6.2.1 Ensure that the siting and construction of capital facilities considered essential public facilities are not precluded by the City's Comprehensive Plan.

2. The purpose for the requested Comprehensive Plan amendment, rezone and Master Plan revision is to allow ECC to expand in order to adapt to changing circumstances by meeting projected student population (Full Time Enrolled Students, or FTEs) growth through 2015 and beyond. This objective would in part be met if ECC and Providence Everett Medical Center were allowed to trade land as described by both institutions in their current applications.
3. The need for the proposed rezone is to help ensure ECC will meet projected FTE demand, while supporting improvements to North Broadway and the expansion area east of Broadway, while minimizing impacts to nearby residential areas.
4. To achieve the requested land use changes and related provisions, City Council needs to:
 - a. Amend the Comprehensive Plan land use map designation in the expansion area from 1.3 (Single Family) and 4.4 (Mixed Use Commercial – Multi Family) to Colleges / Universities (2.2), and .
 - b. Rezone the area from R-2 (Single Family) and B-2 (Community Business) to R-2-I (Institutional Overlay) and B-2-I (Institutional Overlay) including adoption of expansion phasing maps and related standards found herein.
5. Comprehensive Plan Policy 2.11.4. calls for ECC to submit a detailed master plan that will be implemented through the use of the Institutional Overlay Zone which will provide long term predictability for the College and surrounding neighborhood.
6. Comprehensive Plan Policy 2.11.4. calls for ECC to work with the neighborhood in development of the Master Plan, that the Plan shall provide for off-street parking and access improvements, and that principal access to the campus shall be taken from Broadway and North Broadway over the long term.
7. The proposed rezone includes provisions for parking to be brought onto the campus and off of nearby surface streets in a way that will mitigate impacts to surrounding residential areas.
8. Both ECC and nearby PEMC (Providence Everett Medical Center) are essential public facilities and important institutions in their own right that need to grow within the community. It is City Council's desire that ECC and PEMC work on expansion plans with surrounding neighborhood residents and the community to accommodate both organizations.
9. City Council support for the ECC proposal is in part based on submittal of Master Plan maps including specific phases of expansion as found in Exhibits C and D, which includes potential locations and numbers of buildings in the near-term and at full buildout.

10. City regulations concerning, but not limited to: landscaping, signage, and lighting shall be used to review each of the necessary construction permit phases.
11. The Draft Supplemental Environmental Impact Statement (DSEIS) for the 2007 Comprehensive Plan docket cycles reviewed ECC's proposal and identified impacts of changing the land use designation and rezoning and addressed those impacts.
12. The institutional overlay zone allows institutional land uses with special needs and impacts to be located in the Everett community in a manner which is compatible with surrounding land uses through a master plan review process.
13. The institutional overlay zone specifically allows for expansion of universities and colleges through the City's master plan review process.
14. The institutional overlay zone and master plan are reviewed using the review process described in EMC Title 15, Local Project Review Procedures.
15. The College initiated the establishment of an institutional overlay zone.
16. The Master Plan expansion proposal and supporting documents address the following factors: (a) permitted uses and ancillary uses (b) permitted intensity of development (c) traffic impacts including adequacy of access to the site and within the site, on street parking impacts and limitations other traffic related improvements (d) other ordinance requirements including drainage, noise, environmental impacts, and other requirements of local, state and federal laws and (e) phasing of development. It is anticipated that existing City development regulations will guide development, unless otherwise specified herein.
17. ECC met to discuss its Master Plan expansion concept with the neighboring community on December 6, 2006, December 18, 2006, February 20, 2007, March 15, 2007, April 10, 2007, April 12, 2007, September 13, 2007 and on May 29, 2008.
18. As a result of the review process, including public input, the Mater Plan was modified to include the specific development standards, location of certain buildings, and other conditions to address concerns of area residents and property owners.
19. The Planning Commission reviewed the proposed Master Plan, Comprehensive Plan amendment and rezone as presented in staff reports and heard public input at public hearings on November 27, 2007, April 7, 2008 and June 2, 2008, and subsequently recommended approval of the proposal at the June 2nd public hearing.
20. On June 2, 2008 the Planning Commission adopted Resolution 2008-07 recommending that the City Council approve the Master Plan revision and expansion through 2015.
21. The property totals 17.4 acres and so exceeds the five acre minimum required for institutional overlay applications.

22. The Master Plan sets the following standards: (a) revised end date of the Master Plan from the end of 2011 to the end of 2015, (b) building setback and height standards were revised and established as depicted in Exhibit E, and (c) early use of the expansion site was established for expanded parking east of Broadway.

23. The Planning Department, Planning Commission and City Council have considered the following in determining the standards for the ECC institutional overlay zone in this location: (a) compatibility with surrounding uses, (b) the unique characteristics of the subject property (c) the unique characteristics of the proposed uses, (d) the arrangement of buildings and open spaces as they relate to each other within the institutional campus (e) visual impact of the institution on the surrounding area, (f) public improvements proposed in connection with the institution, and (g) the public benefit provided by the institution.

24. Any conclusion below that may be construed as a finding is included here as such by this reference.

WHEREAS CITY COUNCIL CONCLUDES:

1. Any finding above that may be construed as a finding is included here as such by this reference.

2. The Comprehensive Plan amendment is supported by, or consistent with, the Comprehensive Plan. Land Use Policy 2.11.4 is the policy that most specifically applies to the consideration of ECC expansion that requires the redesignation of affected commercial and residential property. In this regard, ECC has identified its expansion needs, and the City has reviewed the proposed change to the commercial and residential land use designations in the context of the City's Comprehensive Plan, consistent with Land Use Policy 2.11.4. The Comprehensive Plan amendment is also consistent with other policies which apply more generally and which the Council reads consistently with Policy 2.11.4, namely, that existing land use designations may be changed in the context of the Comprehensive Plan update. Specifically, Land Use consistent with Policy 2.1.3., refers to a condition under which a residential use, found west of Broadway, may be converted to collage use, where use College use is already well established, which it is. Following this amendment the College use will be designated on the Land Use Map in the expansion area established herein. The proposed amendment is therefore, consistent with Land Use Policy 2.1.3., when read in conjunction with Policy 2.11.4.. Conditions of this Ordinance will require ECC expansion to be visually compatible with and minimize the parking and traffic impacts upon the residential neighborhood. Consistent with Land Use Policy 2.10.3, the City reviewed the impacts of the ECC proposal pursuant to EMC 19.33B, the review process for institutions specified by the zoning code, SEPA, and other applicable ordinances of the City. Consistent with Housing Policy 2.1.3, change from residential to college use is consistent with the criteria specified in the preceding Land Use Policies. (Findings 1, 5, 22 and 23)

3. Circumstances related to the subject property and the area in which it is located have changed sufficiently since the adoption of the Land Use Element to justify a change to the proposed land use designation. Specifically: (1) ECC has identified the need for future expansion based on student growth projections and (2) the expansion area has become available to the College, or been purchased, so that needed expansion could be carried out in an predictable, orderly manner over the coming years. (Findings 2, 3, 12, 13, 14 and 15)
4. The proposed land use designation is in the community's best interest. (Findings 1, 2, 3, 7 and 18)
5. The approval, as requested does not constitute a grant of special privilege to the proponent or any single owner of property because the College's expansion requirements in this area are unique and will be accomplished with the proposed change. (Finding 22)
6. The Master Plan expansion will not create pressure to change the land use designation of other properties in the vicinity. The Master Plan expansion accommodates long range anticipated land needs, thereby relieving pressure to further change the surrounding area. Much of the property in the vicinity is residential and commercial. (Findings 2, 3, 7 and 21)
7. The rezone is consistent with Comprehensive Plan Policies and the Comprehensive Land Use Map as amended for the reasons discussed herein. (finding 1, 4 and 5).
8. The Institutional Overlay zone, which will be governed by the Master Plan standards and provisions of the Everett Municipal Code, and the conditions set forth in Section 2 of this Ordinance, mitigate the adverse impacts upon land uses in the immediate vicinity of the subject property. (Findings 21, 22 and 23)
9. The rezone bears a substantial relation to the public health, safety and welfare by providing for additional higher educational needs while mitigating impacts. (Findings 2, 3 and 7)
10. The amendment to the land use map rezone promotes the best long term interests of the Everett community by providing a long term plan and framework for meeting the higher education needs of the Everett community, while mitigating impacts to the immediate vicinity. (Findings 6, 8, 10, 11, 16, 17, 19, 20 and 23)
11. The Master Plan complies with the procedural and substantive requirements of EMC 19.33B. (Findings 9, 12, 13, 14, 15 and 16)

NOW, THEREFORE, THE CITY OF EVERETT DOES ORDAIN:

Section 1: Approval.

1. The Comprehensive Plan land use map in the expansion area is hereby amended from 1.3 (Single Family) and 4.4 (Mixed Use Commercial – Multi Family) to Colleges / Universities (2.2), as depicted in Exhibit A.
2. The expansion area is hereby rezoned from B-2 (Community Business) and R-2 (Single Family) to B-2-I (Institutional Overlay) and R-2-I (Institutional Overlay), as depicted in Exhibit B.
3. The Planning Department is instructed to amend the Comprehensive Plan map and Zoning Map to reflect the changes made under 1 and 2, above. In the event of conflict between the attached legal description and City maps of the action areas defined herein, the maps shall guide boundary location decisions.
4. The Development Master Plan, based on phases of construction attached to this document as Exhibits C and D, are approved subject to conditions set forth herein.

Section 2: Conditions of Approval.

1. Exhibits A, B, C, D, E and F are hereby made part of this approval and incorporated herein by reference.
2. Building heights and setbacks shall be in accordance with the building area height map found at Exhibit E.
3. Any development standard not specified in this Ordinance, or the previous two Master Plan Ordinances for ECC, specifically Ordinance 2232-97 and Ordinance 2849-05, shall be determined by applicable underlying zone for the given location within the Master Plan area, as found in the Everett Zoning Code, Title 19.
4. ECC shall continue to provide off-street parking and access improvements
5. Principal access to the campus shall be taken from Broadway and North Broadway over the long term.
6. New construction in the expansion area established herein shall to the extent feasible be compatible with surrounding areas and uses.

7. The Master Plan shall cease to be in affect at the end of 2015 and shall be revised within one year of that time, or the application for such revision shall be in process and under review.
8. ECC is encouraged to work with the surrounding neighborhoods at important steps throughout the campus development process. Such contacts shall be undertaken by the College at no less frequent interval than the beginning period of each listed phase, as indicated in Exhibit C.
9. A construction mitigation Plan appropriate for the next phase of construction, or major campus building project will be submitted prior to each new phase of construction. These mitigation plans will be provided to City Council for its information.
10. Within 180 days of the effective date of this ordinance, PEMC shall provide for Planning Director review and approval a detailed program for accomplishing the Comprehensive Plan 2025 mode split objectives of not more than 64% by Single Occupant Vehicle, within the framework of EMC 46.68. The program shall include proactive measures PEMC will take to increase travel by transit, carpool, and non-motorized modes; interim targets between 2008 and 2025; a monitoring and reporting schedule; and contingencies in the event mode interim split targets are not being achieved. The Planning Director shall have the authority to require revisions to the proposed program to achieve compliance with mode split objectives. The program shall be evaluated prior to each phase of building construction or expansion and include compliance mechanisms the City may use if mode split objectives are not being met.

Section 3: Legal Description.

The legal description of the area subject to the rezone and Comprehensive Plan amendment set forth in Exhibit F of this Ordinance.

Section 4: Validity.

Should any section, subsection, paragraph, sentence, clause or phrase set forth in this Ordinance or its application to any person or situation be declared unconstitutional or invalid for any reason, such decision shall not affect the validity of the remaining portions of this Ordinance or its application to any other person or situation. The City Council of the City of Everett hereby declares that it would have adopted this Ordinance and each section, subsection, sentence, clause, phrase or portion thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or portions be declared invalid or unconstitutional.

Section 5: Purpose.

It is expressly the purpose of this Ordinance to provide for and promote the health, safety and welfare of the general public and not to create or otherwise establish or designate any particular

class or group of persons who will or should be especially protected or benefited by the terms of this Ordinance.

It is the specific intent of this Ordinance that neither provisions nor any term used in this Ordinance is intended to impose any duty whatsoever upon the City or any of its officers or employees.

Nothing contained in this Ordinance is intended nor shall be construed to create or form the basis of any liability on the part of the City, or its officers, employees or agents, for any injury or damage resulting from any action or inaction on the part of the City, its officers, employees or agents.

Section 6: Pending Actions.

The enactment of this Ordinance shall not affect any case, proceeding, appeal or other matter currently pending before the City or in any court.

Section 7: Corrections.

The City Clerk and the codifiers of this Ordinance are authorized to make necessary corrections to this Ordinance including, but not limited to, the correction of scrivener's / clerical errors, references, ordinance numbering, section / subsection numbers and any references thereto.



 Ray Stephanson, Mayor

ATTEST:



 CITY CLERK

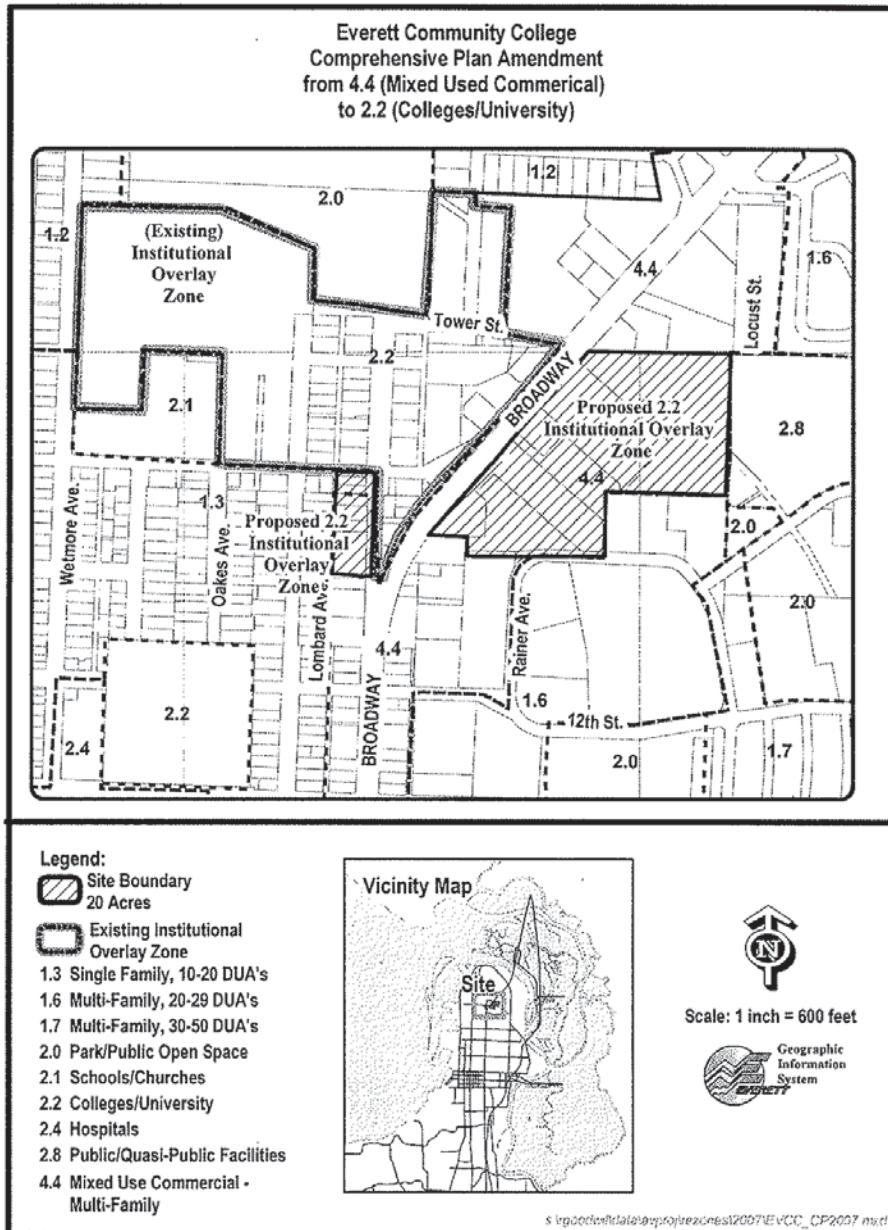
Passed: 8/20/08

Valid: 9/2/08

Published: 9/5/08

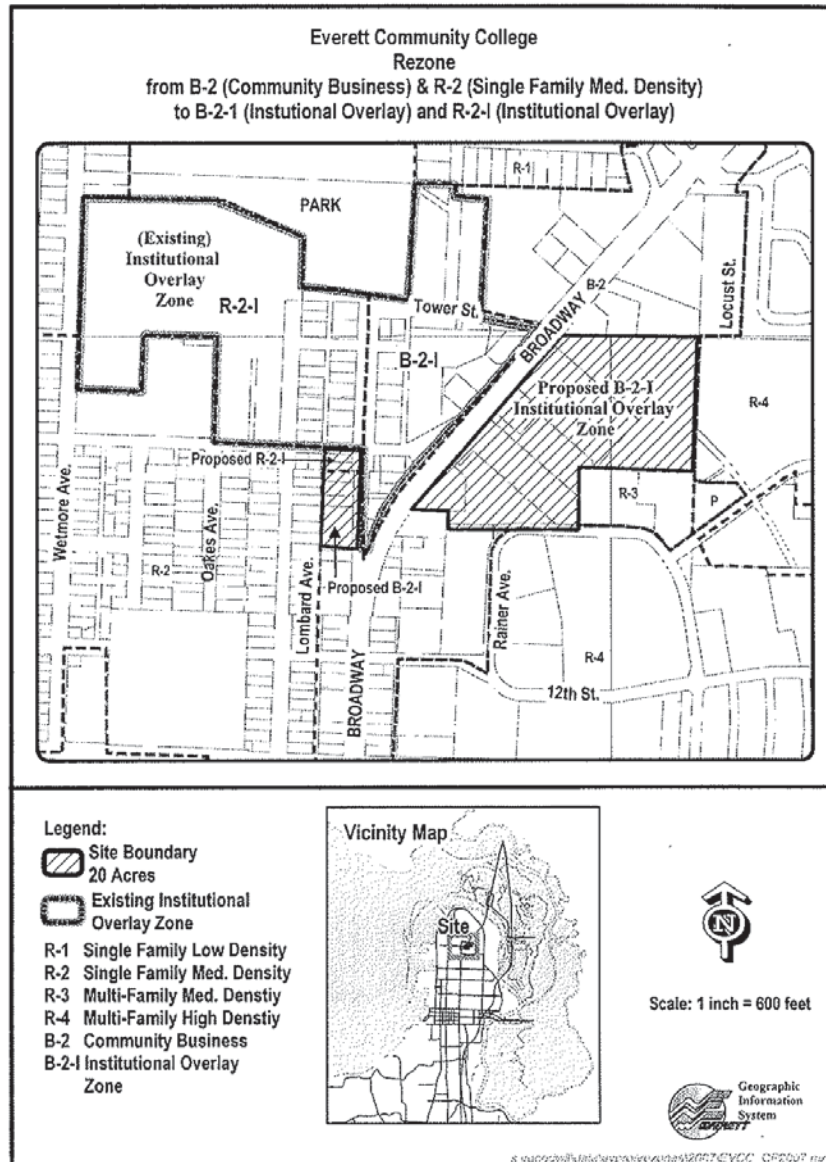
Effective Date: 9/17/08

Exhibit A



Note: "Proposed" areas are designated 2.2 (College / University) as a result of this action.

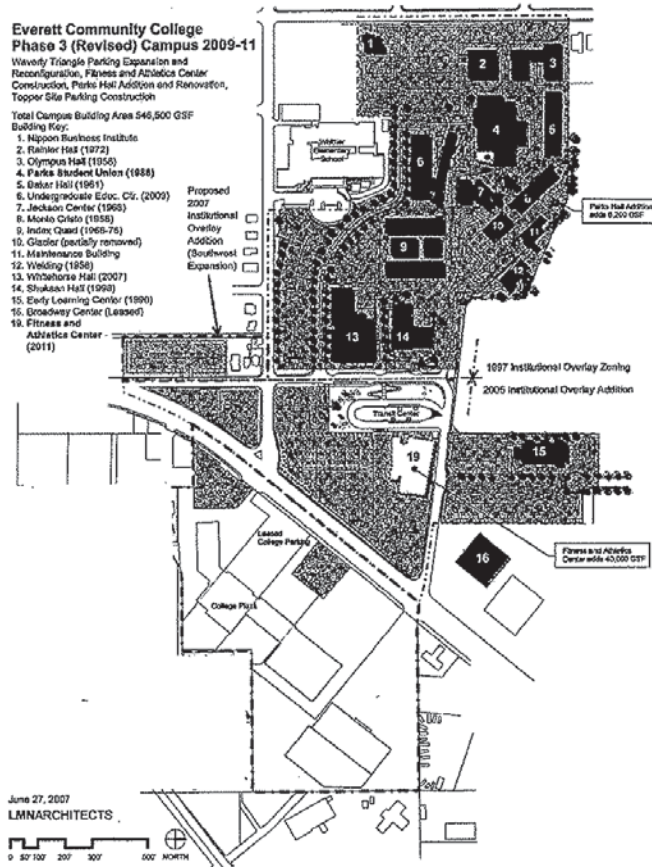
Exhibit B



Note: "Proposed" areas are zoned R-2-1 or B-2-1, as noted, as a result of this action.

Exhibit C-1
MASTER PLAN Diagram
Phases 1 and 2 are completed

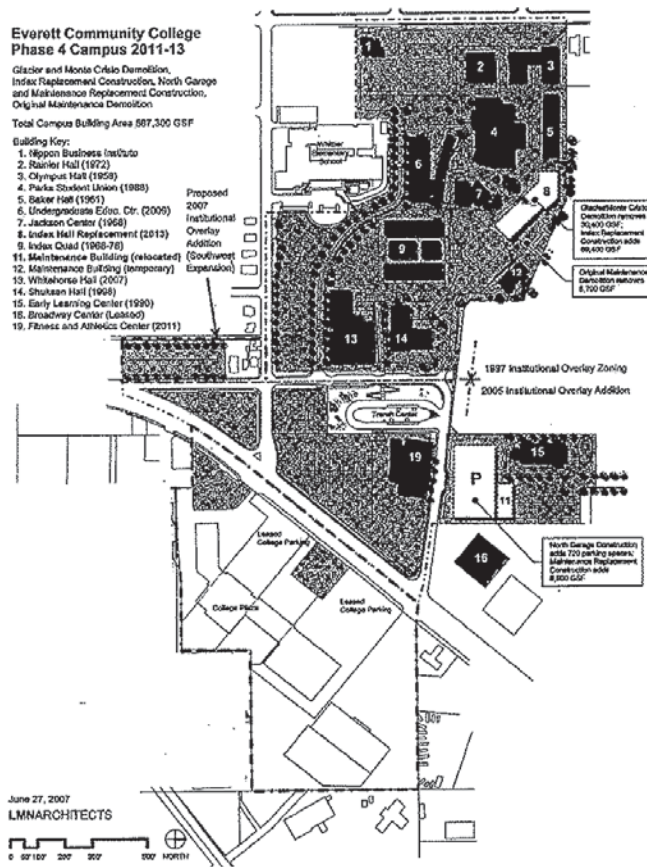
2009 – 2011



Everett Community College / Comprehensive Plan Map Change and Rezone Application

Exhibit C-2 MASTER PLAN Diagram

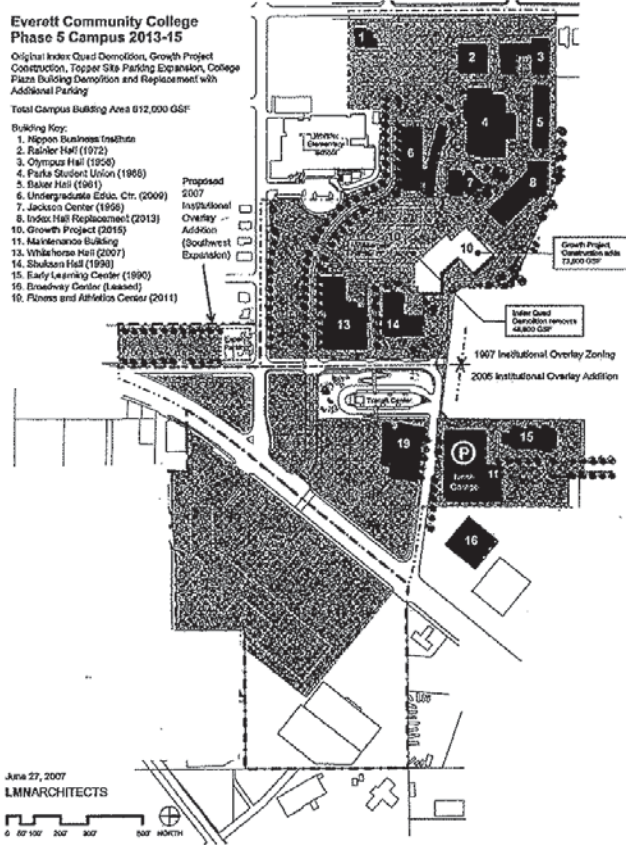
2011 – 2013



Everett Community College / Comprehensive Plan Map Change and Rezone Application

Exhibit C-3
MASTER PLAN Diagram

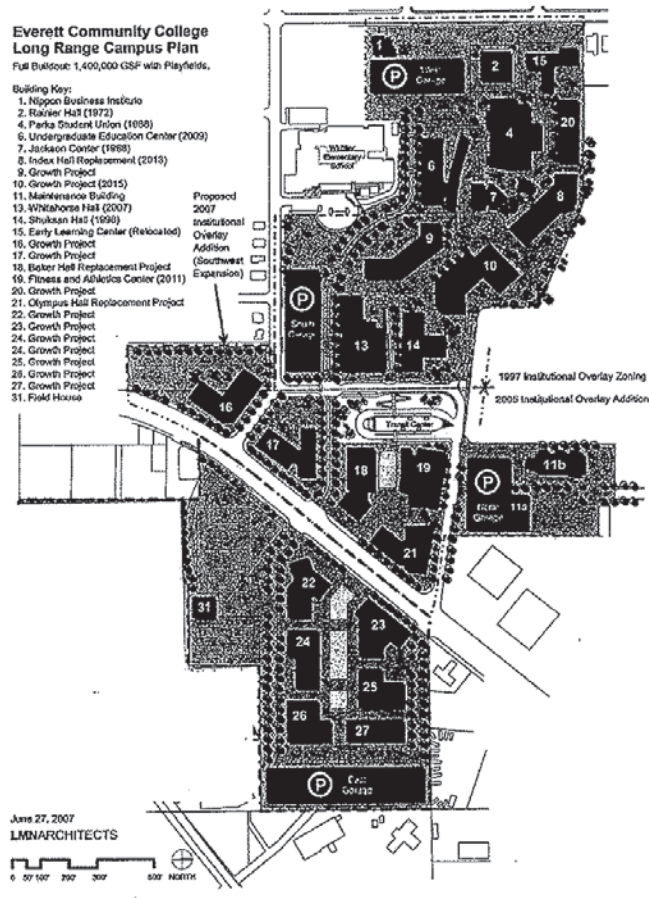
2013 – 2015



Everett Community College / Comprehensive Plan Map Change and Rezone Application

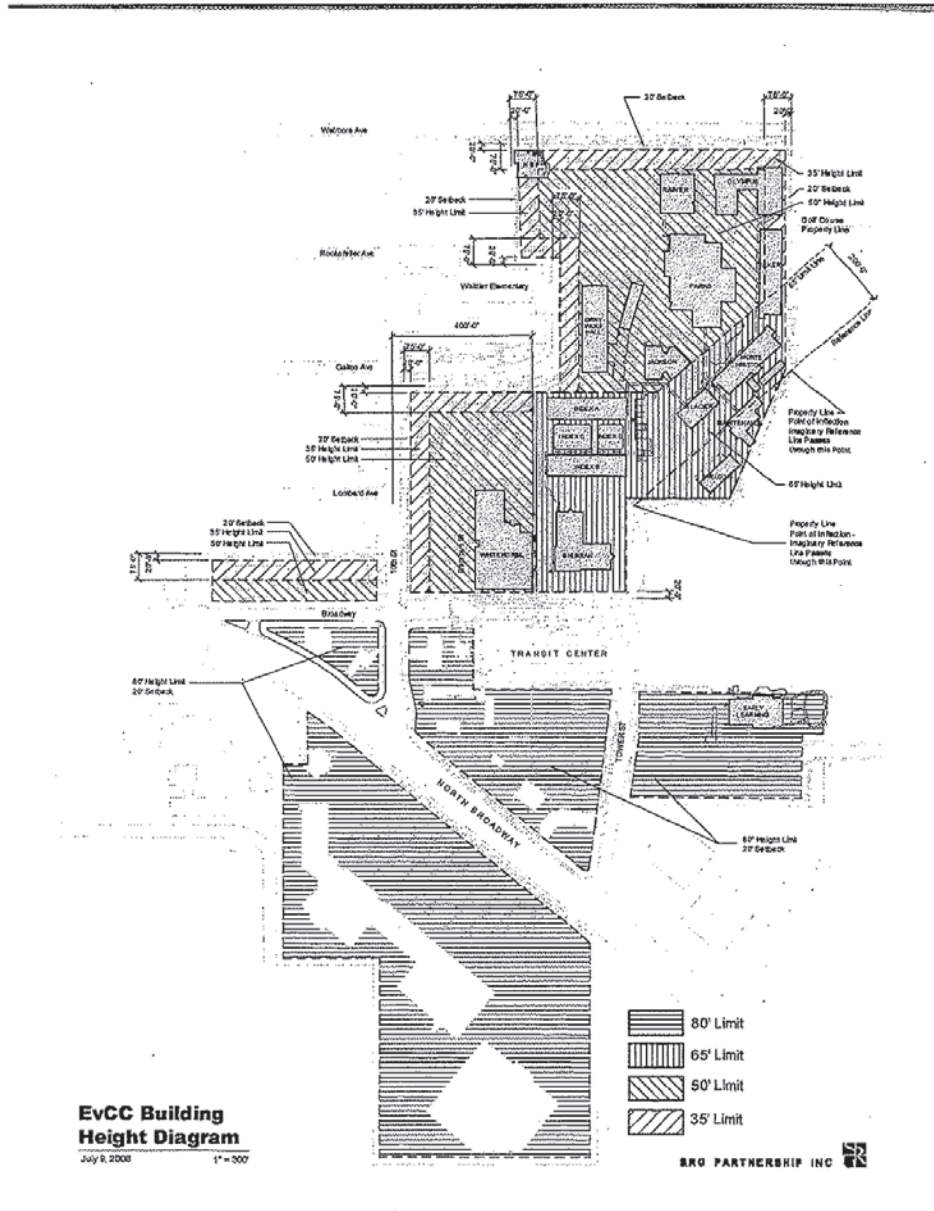
Exhibit D MASTER PLAN Diagram

Full Buildout - Conceptual



Everett Community College / Comprehensive Plan Map Change and Rezone Application

Exhibit E Height and Setback Map



**Exhibit F
legal description
ECC Rezone**

Rezone Area East of Broadway:

ALL THAT PORTION of the NW1/4 of Section 17, Township 29 North, Range 5 East, W.M., described as follows:

All of lots 1 through 7, inclusive, City of Everett Binding Site Plan No. 1571-2-87, recorded under Auditor's file number 8904125002 in Volume 1 of Binding Site Plan's, pages 150-151, records of Snohomish County, State of Washington, together with the east ½ of the North Broadway right-of-way lying adjacent thereto.

Situate in the County of Snohomish, State of Washington.

Rezone Area West of Broadway:

ALL THAT PORTION OF the NW1/4 of Section 17, Township 29 North, Range 5 East, W.M., described as follows:

BEGINNING at the intersection of the platted centerlines of 10th Street and the north-south alley in block 221, Plat of Bailey Addition to Everett, according to the plat thereof, recorded in Volume 9, page 78, records of Snohomish County, State of Washington;

THENCE southerly along the platted centerline of the north-south alley in block 221 of said Plat of Bailey Addition and the southerly projection of said centerline to a point on said line that is 367.74 feet south of the north line of the SW1/4 of the NW1/4 of said section 17;

THENCE easterly along a line parallel to and 367.74 feet south of the north line of the SW1/4 of the NW1/4 of said section 17 to its intersection with the southerly projection of the platted centerline of Broadway as per the plat of Bailey Addition;

THENCE northerly along the said centerline of Broadway to its intersection with the centerline of 10th Street;

THENCE westerly along the centerline of 10th Street to the **POINT OF BEGINNING**.

Situate in the County of Snohomish, State of Washington.

BROADWAY MIXED USE ZONING REQUIREMENTS

7/23/2014

Everett Municipal Code

Chapter 31A BROADWAY MIXED-USE ZONE

Sections:

- [31A.010](#) Applicability.
- [31A.020](#) Development intensity.
- [31A.030](#) Other development standards.
- [31A.040](#) Design standards.

31A.010 Applicability.

The design standards and guidelines herein apply to new construction and remodeling activities in the BMU zone, with the following exceptions:

- A. Major exterior remodels include all remodels within a three-year period whose value exceeds fifty percent of the value of the existing structure, at the time of the initial remodeling (not after value is increased by remodel), as determined by city of Everett valuation methods. All standards that do not involve repositioning the building or reconfiguring site development, as determined by the city, shall apply to major exterior remodels.
- B. Minor exterior remodels includes all remodels within a three-year period with a value of fifty percent of the building valuation or less, as determined by the city of Everett valuation methods. For minor exterior remodels, only the proposed improvements shall meet the standards and/or guidelines of this chapter, and shall not create a greater nonconformance unless approved by the planning director, when it is infeasible for the remodel to comply with these standards. (For example, if a property owner decides to replace a building facade's siding, then the siding shall meet the applicable exterior building materials standards, but elements such as building modulation would not be required.)
- C. The standards and guidelines do not apply to remodels that do not change the exterior appearance of the building and site. However, if a project involves both exterior and interior improvements, then the project valuation shall include both exterior and interior improvements.

These standards and guidelines supplement other standards in the zoning code. In the event of a conflict between these standards and other sections of the zoning code, these requirements shall control; provided, however, the requirements established as part of any historic or design overlay zone shall take precedence over any conflicting requirements in this chapter. (Ord. 3099-08 § 12 (part), 2008.)

31A.020 Development intensity.

There shall be no maximum residential density standard in the BMU zone. (Ord. 3099-08 § 12 (part), 2008.)

31A.030 Other development standards.

- A. Maximum Building Height.
 - 1. Mixed-Use and Residential Uses. The maximum permitted building height for mixed-use and residential structures shall be as provided by Map No. 31A-1, measured as height above base elevation

7/23/2014

Everett Municipal Code

as defined by Chapter 4, provided:

a. No portion of a structure within fifty feet of any lot within a zoning district having a lower height limit shall exceed the height limit for the adjacent district.

b. Roof forms, including pitched and curved shapes, that do not contain habitable space may exceed the height limit, but by no more than ten feet. All mechanical equipment on the roof shall be contained within a roof form and not exposed to view from either the street or adjacent residential areas.

2. Nonresidential Uses. The maximum permitted building height for nonresidential structures shall be thirty-five feet, except as provided in subsections A.2.c, Height Bonuses, and A.2.d, Gateway Segment, South of 38th Street, of this section, measured as height above base elevation, as defined by Chapter 4, provided:

a. No portion of a structure within fifty feet of any lot within a zoning district having a lower height limit shall exceed the height limit for the adjacent district.

b. Roof forms, including pitched and curved shapes, that do not contain habitable space may exceed the height limit, but by no more than ten feet. All mechanical equipment on the roof shall be contained within a roof form and not exposed to view from either the street or adjacent residential areas.

c. Height Bonuses. Building heights for nonresidential structures may be increased to the maximum height permitted for mixed-use and residential structures through a discretionary review process if the development incorporates amenities or TDR credits from the list below. Each bonus amenity shall permit an increase in height of ten feet, not to exceed the maximum height for mixed-use or residential structures as indicated on Map No. 31A-1. The planning director shall have the authority to determine whether the proposed amenities are of sufficient quality to qualify for the height bonus. TDR credits shall permit height bonuses as provided by subsection A.2.c.(6) of this section.

(1) Exterior Public Space. This space shall be available to the public at least for the period between seven a.m. and dusk. It shall be an area equal to at least two percent of the total interior floor space of the development, or eighty square feet, whichever is greater. No dimension shall be less than eight feet. Landscaping, textured paving, pedestrian-scaled lighting, and seating shall be included.

(2) Art or Water Feature in a Publicly Accessible Space. Each feature must be appraised at a value that is at least one percent of the value of building construction. Documentation of building costs and appraised value of the art or water feature shall be provided.

(3) Through-Block Pedestrian Connection. A walkway at least eight feet wide allowing the public to walk between a street and an alley or another street. The walkway shall be constructed with cement or masonry pavers, flanked with planting and pedestrian-scaled lighting.

(4) Below-Ground Structured Parking. Fifty percent of all required parking shall be contained within a structure that is below grade.

(5) Common Courtyard or Green. This space shall be available to tenants of the development. It shall be an area equal to at least four percent of the gross floor area of the building. There should be both paved areas and landscaping, with planting comprising at least thirty percent of the area. Seating and pedestrian-scaled lighting shall be provided. This feature is in addition to any other open space or

7/23/2014

Everett Municipal Code

common areas required in this chapter.

(6) Transfer of Development Rights. Additional height can be earned through a transfer of development rights (TDR) from sending sites in the city that are impacted by critical areas or from sending sites containing a historic building listed on the national, state or Everett register when such a building is rehabilitated to the Secretary of the Interior's Standards for Rehabilitation, to receiving sites within the BMU zone. The development rights transferred from the sending site shall be recorded as a restriction on the title of the sending site. Credits toward additional height shall be provided as follows:

(A) Residential TDR Credit. An additional ten feet in height shall be permitted as follows: one residential dwelling unit TDR credit shall be required for each five thousand square feet of lot area; provided, that where this computation results in a fraction greater than one-half, one additional dwelling unit TDR credit shall be required.

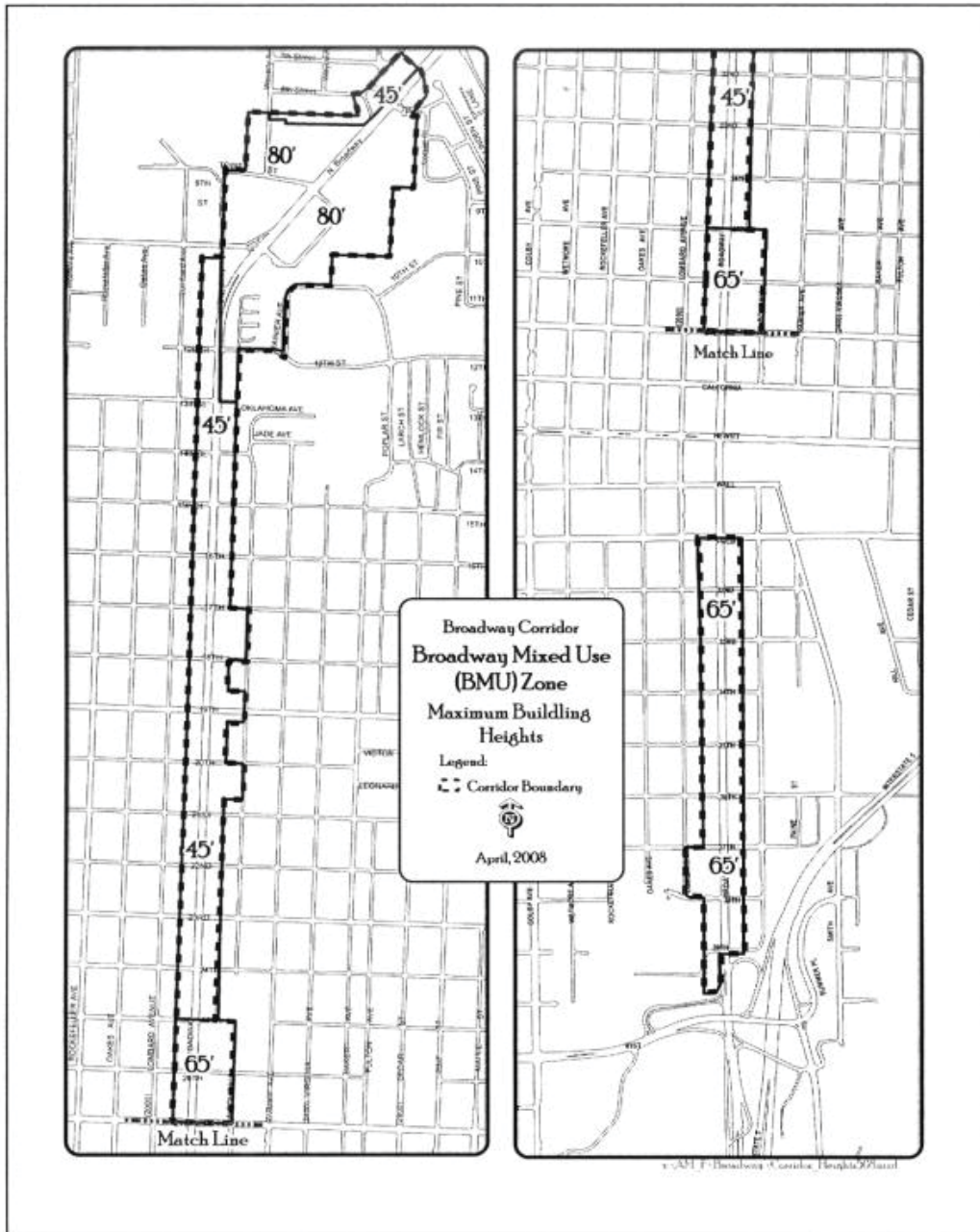
(B) Nonresidential TDR Credit. An additional ten feet in building height shall be permitted for each ten thousand square feet of nonresidential building space transferred from a sending site.

(7) Sustainable Building Practices. Additional height can be earned through the incorporation of sustainable building and low impact development practices in project design and development. These practices may include:

- (A) Use of sustainable building materials.
- (B) Use of permeable paving materials.
- (C) Green (vegetated) roofs.
- (D) Rain gardens/native vegetation drainage system.
- (E) Alternative energy systems (wind, solar, geothermal).
- (F) Pursuit of LEED certification.

d. Gateway Segment, South of 38th Street. The maximum building height for all structures in the Gateway Segment south of 38th Street shall be sixty-five feet.

**Map 31A-1
BMU Zone-Maximum Building Heights**



B. Off-Street Parking Standards.

1. Nonresidential Uses. Off-street parking shall be provided as required by Table 34-1 in Chapter 34 of the zoning code.
2. Residential Uses. Multifamily residential developments shall provide off-street parking as provided

7/23/2014

Everett Municipal Code

for on Map Number 34-1 (Chapter 34). For properties located in that part of the BMU zone not encompassed by either Area A or Area B on Map 1, the area north of 25th Street, multiple-family residential developments shall provide one off-street parking space per unit for one or fewer bedroom units, and one and one-half parking spaces per unit for two or more bedroom units. For purposes of this section, any room other than a kitchen, bathroom, living room or dining room, such as a den, study, office or other similar room, shall be considered a bedroom.

C. Multiple-Family Development Standards. The following development standards shall apply to residential uses within the BMU zone.

1. Open Space. All multifamily residential development must provide at least fifty square feet of on-site open space per dwelling unit. The design standards below shall supersede the requirements of Chapter 15. Acceptable types of open space include:

a. Common Open Space. Where accessible to all residents, open space shall count for up to one hundred percent of the required open space. This includes landscaped courtyards or decks, entrance plazas, gardens with pathways, children's play areas, or other multipurpose recreational and/or green spaces. Special requirements for common open spaces include the following:

(1) Required setback areas shall not count towards the open space requirement, unless it is part of the space that meets dimensional requirements.

(2) Space shall have a minimum dimension of fifteen feet to provide functional leisure or recreational activity.

(3) Space should feature paths, landscaping, seating, lighting and other pedestrian amenities to make the area more functional and enjoyable.

(4) Common space shall be separated from ground level windows, streets, service areas and parking lots with landscaping, low-level fencing, and/or other treatments as approved by the city that enhance safety and privacy for both the common open space and dwelling units.

(5) Space should be oriented to receive sunlight, face east, west or preferably south, when possible.

b. Balconies. Individual balconies or patios may be used for up to fifty percent of the required open space. To qualify as open space, balconies or patios shall be at least thirty-five square feet, with no dimension less than four feet.

c. Rooftop Decks and Terraces. May be used to meet up to fifty percent of the required open space, provided the following conditions are met.

(1) Space must be accessible (ADA) to all dwelling units.

(2) Space must provide amenities such as seating areas, landscaping, and/or other features that encourage use as determined by the city.

(3) Space must feature hard surfacing appropriate to encourage resident use.

(4) Space must incorporate features that provide for the safety of residents, such as enclosures and appropriate lighting levels.

7/23/2014

Everett Municipal Code

- d. On-site Recreation Areas (Outdoor or Indoor). May be used to meet up to fifty percent of the required open space, provided the following conditions are met.
- (1) Space must be accessible (ADA) to all dwelling units.
 - (2) Subject to the criteria for on-site recreation areas as provided in Section 15.050.A.2.
2. Setbacks/Privacy. All ground floor residential units shall be set back at least ten feet from the right-of-way, or may be set back five feet if all living units with windows have a floor elevation at least three feet above the sidewalk grade to provide for increased privacy. The city may approve other design solutions that retain resident privacy while enhancing the pedestrian environment on the sidewalk. (Ord. 3099-08 § 12 (part), 2008.)

31A.040 Design standards.

The design standards of this section shall apply to all development within the BMU zone. Encouraged standards are not mandatory, but strongly encouraged to promote the desired pedestrian-friendly character of Broadway. Required standards are mandatory and shall be provided in the design of site development and buildings within the Broadway mixed-use zone. The planning director may allow modification of design standards in subsections A through U of this section to permit a design that meets the intent of this chapter and provides a superior design treatment than could be achieved if those standards were strictly applied. The director's review of proposed modifications under this section shall be governed by the procedures established in Title [15](#) for Review Process II.

A. Curb Cuts. The intent is to maintain a contiguous, uninterrupted sidewalk by minimizing and consolidating driveway access points on Broadway.

Required Standards.

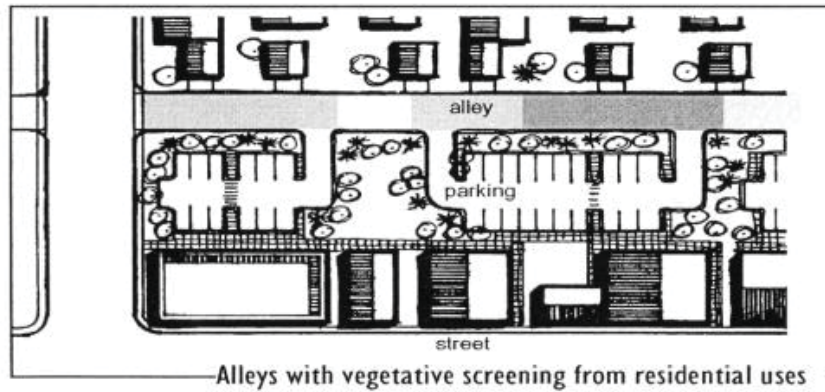
1. Driveways on Broadway shall have a minimum separation of one hundred feet.
2. Curb cuts shall not exceed twenty-five feet in width.
3. The sidewalk pattern shall carry across the driveway.
4. Drive-through facilities shall not be located between the building and Broadway.
5. Distances between driveways and curb cut widths may be modified subject to approval from the city's traffic engineer and the planning director.

Encouraged Standards.

6. Vehicular access to parking lots and driveways should be provided from the alley or side streets.
 7. Adjacent developments should share driveways wherever feasible.
- B. Alleys. The intent is to improve alleys so they are usable and safe for vehicular access.

7/23/2014

Everett Municipal Code

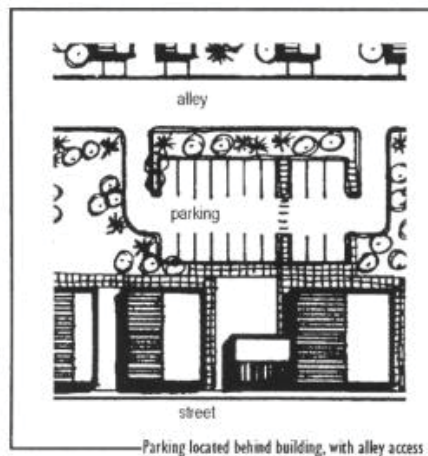


Required Standards.

1. Alleys shall be paved and maintained clear of vehicles, dumpsters, debris or other obstructions to allow safe access to parking lots and buildings.
2. Parking lots abutting alleys shall be screened with five feet of Type III landscaping except where located behind the building and aligned perpendicular to the alley. On corner lots landscaping within ten feet of the sidewalk (alley entrance) shall have a maximum height of thirty inches.

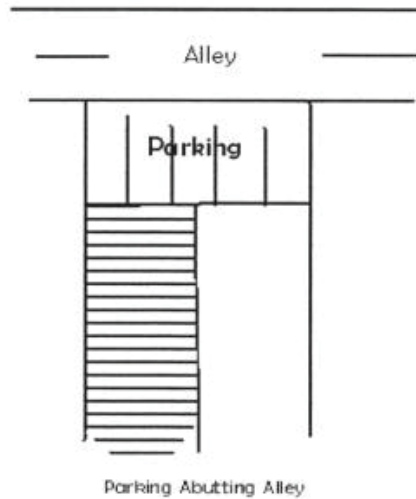
Encouraged Standards.

3. Pedestrian-scaled lighting, special paving, and rear entrances intended to provide appropriate pedestrian use of the alley.
- C. Location of Parking. The intent is to maintain a contiguous, active pedestrian street frontage along Broadway by locating parking lots behind or beside buildings.



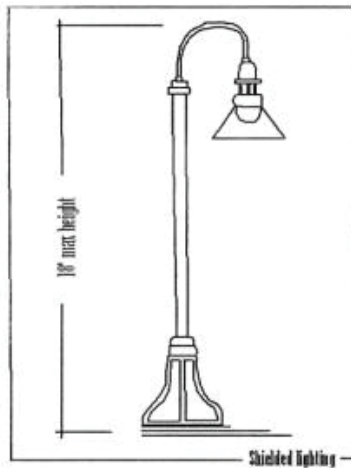
7/23/2014

Everett Municipal Code



Required Standards.

1. Parking lots shall not be permitted between the building and abutting streets. Parking lots shall be landscaped as required by Chapter 35.
 2. In parking lots where spaces directly abut the alley, parking stall depths must be at least twenty-five feet and have a minimum width of nine feet.
- D. Parking Lot Lighting. The intent is to provide pedestrian-scale lighting in parking lots.



Required Standards.

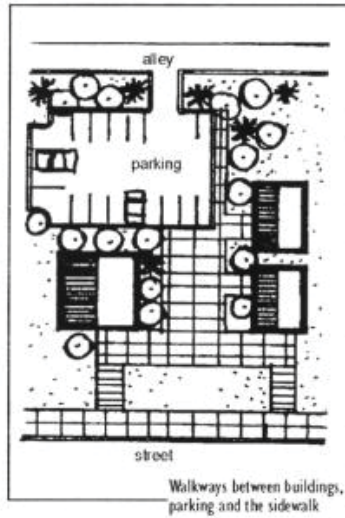
1. Pedestrian-scale lighting, a maximum of eighteen feet tall, shall be used to define pedestrian walkways and connections within parking lots and between buildings.
2. All lighting shall be shielded from the sky and adjacent properties and structures, either with exterior shields or optics within the fixture.

7/23/2014

Everett Municipal Code

Encouraged Standards.

3. Ornamental or decorative accent lighting fixtures should be used to highlight building and site entrances and special landscape features.
- E. Pedestrian Connections. The intent is to create a network of linkages for pedestrians.



Required Standards.

1. Pedestrian connections shall be provided:
 - a. Between a public right-of-way and building entrances when buildings are not located directly adjacent to the sidewalk;
 - b. Between parking lots and building entrances;
 - c. Between developments where buildings do not front on the street;
 - d. To adjacent neighborhoods, where feasible.
2. Pedestrian connections shall be clearly defined in a combination of two or more of the following ways:
 - a. A six-inch vertical curb;
 - b. A trellis, special railing, bollards, special paving, low seat wall and/or other architectural features;
 - c. A landscape planter a minimum of three feet wide located between the walkway and driving aisle, planted with shrubs and evergreen ground cover. Shrubs shall be maintained at a maximum height of three feet.
3. Pedestrian connections shall be illuminated with pedestrian-scale lighting (not more than fourteen feet tall), bollard lighting, accent lighting or a combination thereof.

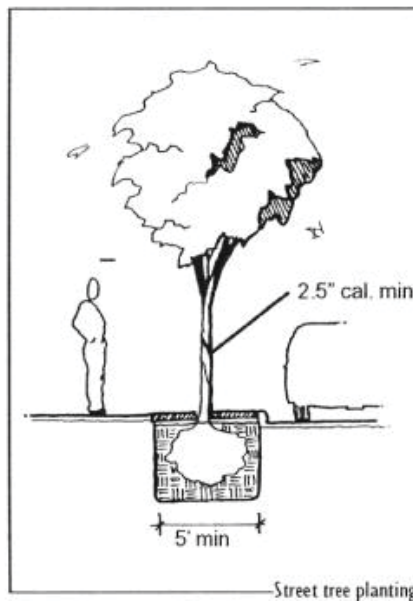
7/23/2014

Everett Municipal Code

4. Pedestrian walkways shall be a minimum of five feet wide and include clear sight lines to building entrances.
5. Chain link fencing shall not be used to separate pedestrians from vehicular traffic.

Encouraged Standards.

6. Pedestrian connections should be provided between adjacent developments, wherever feasible.
- F. Street Trees. The intent is to maintain a unified streetscape identity along Broadway.



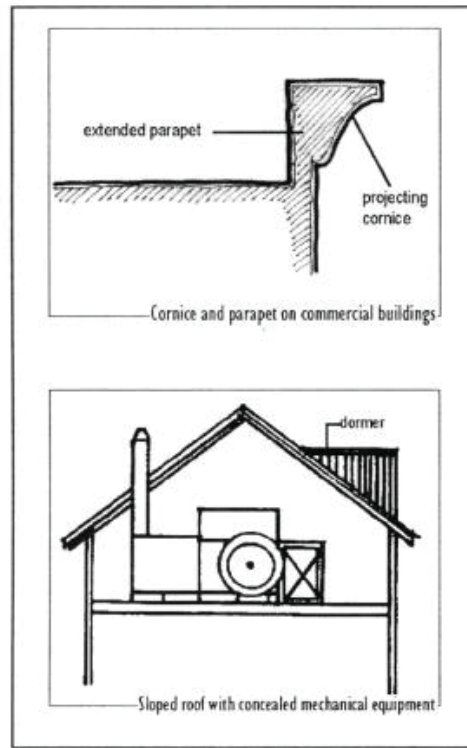
Required Standards.

1. Street trees shall be provided between the sidewalk and curb edge within the public right-of-way in a minimum five-foot by five-foot vault or other method as approved by the city to prevent root penetration and sidewalk damage.
2. Placement of street trees shall take into consideration existing street lighting, adjacent street tree species, signs, and buildings. The city shall maintain a recommended tree list that includes species selection and spacing requirements.
3. Street trees shall be a minimum of two-and-one-half-inch caliper at the time of planting.
4. The topping, shearing or pollarding of street trees is prohibited.
5. All required street trees and landscaping shall be irrigated.
6. Street trees shall be protected from incidental damage and vandalism by ornamental metal tree barriers for a minimum of three years.
7. Dead, diseased, stolen, vandalized or damaged trees shall be replaced within three months.

7/23/2014

Everett Municipal Code

G. Roof Forms. The intent is to ensure that rooflines along Broadway present a distinctive profile and appearance.



Required Standards.

1. New commercial buildings shall include extended parapets and projecting cornices to create a prominent edge. Sloping roof elements are allowed but not required.
2. All mechanical equipment located on the roof shall be concealed by architectural screening or treatment designed into the roof form. Merely painting rooftop mechanical equipment or surrounding it with fencing shall be prohibited.
3. Flat, unembellished rooflines shall be prohibited.
4. Bright roof colors shall be prohibited.
5. Buildings containing predominantly residential uses shall have pitched roofs with a slope ranging from four to twelve to twelve to twelve. Such roofs shall have dormers with windows or intersecting roof forms that break up the mass of a continuous, uninterrupted sloping roof. An exception to this standard may be approved by the planning director for green roofs, rooftop decks, terraces and open space.

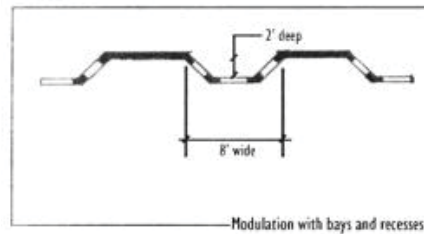
Encouraged Standards.

6. In new single-story structures, architectural forms such as vertically extended walls, raised corner features or entry lobbies with high ceilings should be used to give the impression of a second story.

7/23/2014

Everett Municipal Code

H. Building Design—Massing/Articulation on Street Frontage(s). The intent is to reduce the apparent bulk of buildings by breaking them down into smaller components that are consistent with the scale of Broadway, while providing visual variety along the street face.



Required Standards.

1. Buildings shall include articulation along the facades facing streets.
2. Horizontal facades longer than one hundred feet shall be modulated above ground level into smaller units at intervals of no more than twenty-five feet. At least two of the following methods shall be used:
 - a. Distinctive roof forms.
 - b. Changes in materials.
 - c. Window patterns.
 - d. Different colors.
3. Modulation shall extend to the roof, except at balconies. The purpose is not to create a rigid, rectangular building but to break up the mass in creative ways.
4. Flat, blank walls shall be prohibited, except along interior lot lines.
5. Exposed firewalls, where permitted along property lines, shall feature material, color and/or textural changes to add visual interest to the wall.

Encouraged Standards.

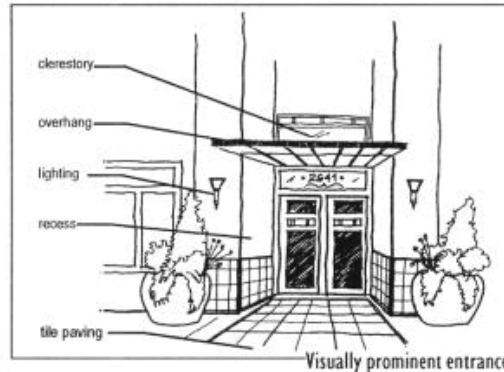
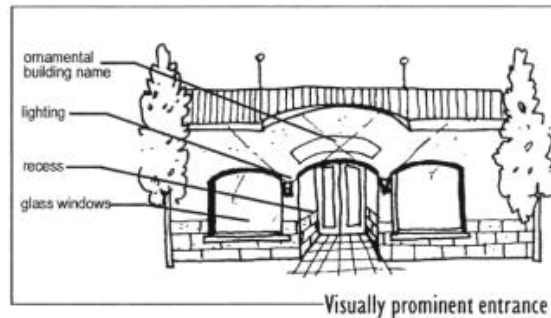
6. Additions or alterations to existing buildings with unique architectural interest should be made

7/23/2014

Everett Municipal Code

sensitively and in keeping with the building's original architectural style.

I. Building Design—Prominent Entrances. The intent is to make major entrances to buildings obvious and welcoming using architectural details, lighting and signage.



Required Standards.

1. Visual Prominence. The principal entry to the building shall be recessed and marked by at least one element from each of the following groups:

a. Group A:

- (1) Recess of at least three feet.
- (2) Overhang extending at least five feet.
- (3) Canopy extending at least five feet.
- (4) Portico extending at least five feet.
- (5) Porch protruding at least three feet.

b. Group B:

- (1) Clerestory.
- (2) Glass windows flanking entry door.

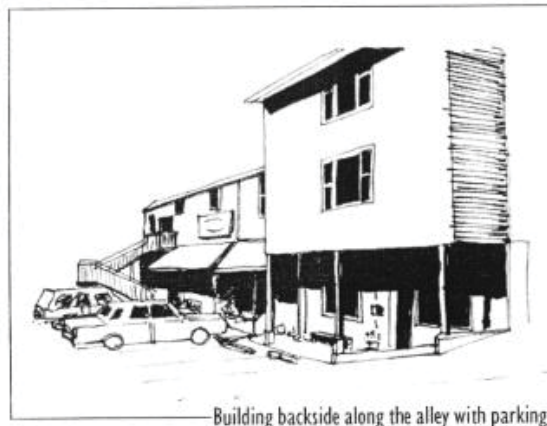
7/23/2014

Everett Municipal Code

- (3) Ornamental lighting fixtures.
- (4) Large entry doors.
- c. Group C:
 - (1) Stone, masonry or tile paving in exterior of entry.
 - (2) Ornamental building name or address.
 - (3) Planters with flowers.
 - (4) Seating.
- 2. Weather Protection. Some form of weather protection shall be provided. This can be combined with the method used to achieve visual prominence.

Encouraged Standards.

- 3. Entrances should be on grade and connected with adjacent sidewalks or pedestrian walkways.
- J. Building Design—Rear Sides. The intent is to ensure that all sides of a building have visual interest, especially along the alley when adjacent to residential uses.



Required Standards.

- 1. Any side of the building visible from a street, public open space or alley shall be given architectural treatment using two or more of the following:
 - a. Visible rooflines.
 - b. Windows.
 - c. Secondary entrances.
 - d. Balconies.
 - e. Architectural details mentioned under subsection T of this section, Ground Level Details.

7/23/2014

Everett Municipal Code

f. Awnings.

K. Building Design—Adapting Older Residential Structures. The intent is to retain the existing characteristics of older residential buildings when remodeled or maintained for commercial uses.

Encouraged Standards.

1. Remodeling should retain the residential character of the original building by maintaining the following:

a. Materials.

b. Roof form and shape.

c. Windows.

d. Porches.

e. Entrances.

f. Building massing and articulation.

2. Any additions to existing residential structures should be located to the rear and should be consistent with the character of the older structure.

3. When existing residential structures are set back from the street, the front yard should be landscaped with grass, trees, ground cover and/or seasonal flowers. Small scale freestanding signs should be visible from the sidewalk.

4. Where new development includes older structures, new portions shall extend the architectural character of the existing building.

5. Special valuations may apply to structures reviewed and approved by the historical commission.

L. Sign Design. The intent is to:

1. Ensure that signage is part of the overall design approach and not a separate design statement;

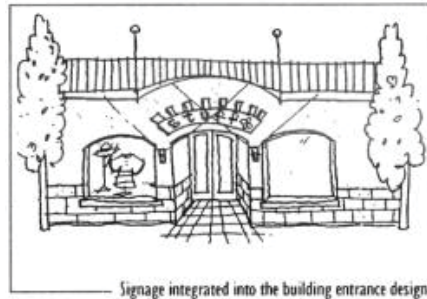
2. Encourage interesting creative and unique approaches to the design of signs;

3. Encourage pedestrian-oriented signage on Broadway;

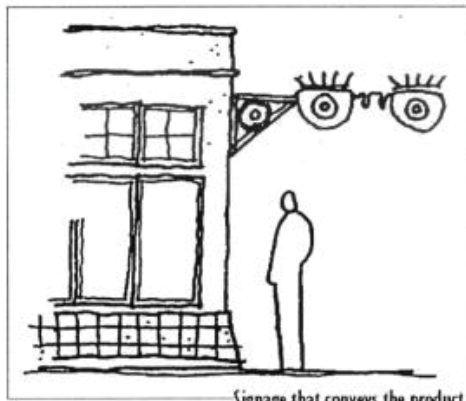
4. Respect the historic character of Broadway.

7/23/2014

Everett Municipal Code



Signage integrated into the building entrance design



Signage that conveys the product

Required Standards, in Addition to Those in Chapter 36.

1. The design of buildings and sites shall incorporate locations and sizes for future signs. All signs shall be in conformance with an overall sign program that allows for advertising which fits with the architectural character, proportions and details of the development.
2. Neon may be used in an artful way in signs; however, simply outlining the roof or building in neon tubing shall not be permitted.
3. Freestanding signs shall include low plantings around the base of the sign to make it a part of the landscape.
4. All freestanding signs shall be monument signs with a maximum height of eight feet.

Encouraged Standards.

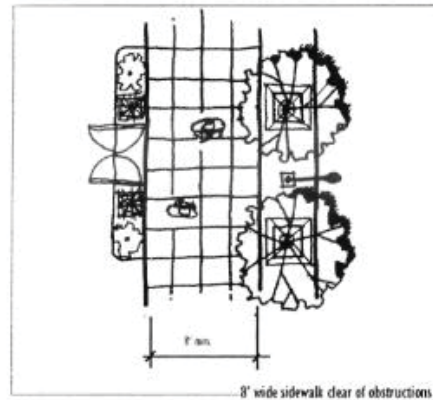
5. Signs should be highly graphic in form, expressive, and individualized.
6. Signs should convey the product or service offered by the business in a bold, graphic form.
7. Existing signs that recall the roadside architecture of Broadway should be included in the redesign of older buildings.
8. Retain existing historic signs or others that contribute to the commercial character of old Broadway.

7/23/2014

Everett Municipal Code

9. Nonconforming signs retained and restored under subsections L.7 and 8 of this section shall be exempt from the requirements for removal of nonconforming signs as provided for in Section 36.200.A.1, 3, 5, 6 and 7.

M. Sidewalks. The intent is to maintain a continuous network for pedestrians that is safe, convenient and attractive.



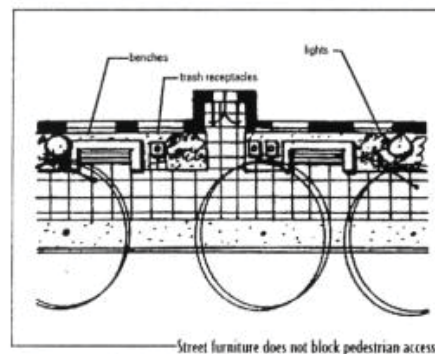
Required Standards.

1. Sidewalks shall have an unobstructed minimum width of eight feet. Street trees, lighting, street furniture and flower pots shall not be located within this area.
2. The five-foot-wide street tree planting area and eight-foot-wide unobstructed sidewalk standards may require that the building be set back from the property line.

Encouraged Standards.

3. Sidewalk paving material should be consistent with street frontage improvements of adjacent developments unless otherwise required by the city.

N. Street and Site Furnishings. The intent is to create a more pedestrian-friendly street through the use of street and site furnishings at plazas, building entrances, bus stops and other pedestrian areas.



Required Standards.

7/23/2014

Everett Municipal Code

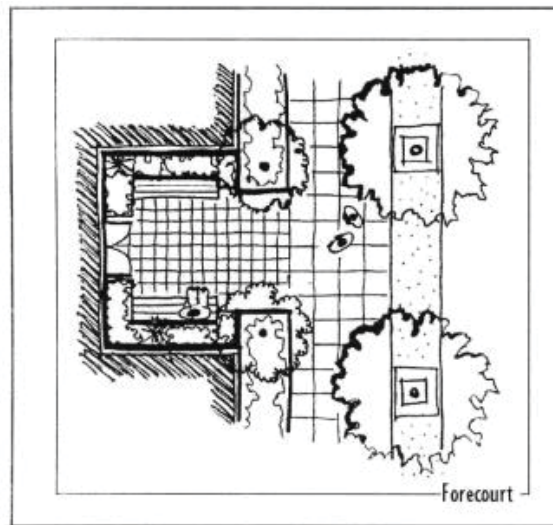
1. Where provided, street and site furnishings shall be made of durable, weather-resistant and vandal-resistant materials as approved by the city.
2. Street and site furnishings shall not block pedestrian access to plazas, open space areas, building entrances, sidewalks or the required eight-foot-wide pedestrian zone.

Encouraged Standards.

3. Use of street and site furnishings such as chairs, benches, tables, bike racks, kiosks and other pedestrian amenities are strongly encouraged, especially at building entrances, plazas, open space, and where food and beverages are sold.

O. Public Open Spaces. The intent is to:

1. Create a more pedestrian-friendly environment along Broadway by requiring usable open space for pedestrians, customers and residents; and
2. Create a green corridor at gateway locations (north of 12th Street, south of 38th Street) to mark the entrances to the Broadway Corridor.



7/23/2014

Everett Municipal Code



Required Standards, Gateways (North of 12th Street, South of 38th Street).

1. At least one of the following types of public open spaces equivalent to five percent of the site shall be provided:
 - a. Park open space: Open spaces consisting of large planting beds with trees, shrubs, ground cover, lawn and seasonal planting, with small areas of textured paving.
 - b. Forecourt: Open space in front of the main entry, consisting of paved surfaces, seating and lighting in keeping with the architectural style of the building. It may have some planting areas, including but not limited to small beds with shrubs or small trees and large containers with seasonal plantings.
 - c. Open space between buildings: Where pedestrian access is required or provided between buildings, the space shall contain low shrubs, ground cover, lawn, seasonal plantings and textured paving.
2. The open space shall not be occupied by driveways, parking, service areas, or any other vehicular use.
3. Public open space areas shall be visible and accessible to the public.

Required Standards, Nongateway Segments of Broadway.

1. Public open space equivalent to four percent of the site is required for development sites larger than twenty thousand square feet.
2. Public open space areas shall be visible and accessible to the public.
3. The ratio between depth and width of the public open space shall not exceed two to one. The minimum dimension shall be fifteen feet, measured in any direction.
4. Types of acceptable public open spaces include:
 - a. Forecourt: Open space in front of the main entry, consisting of paved surfaces, seating, landscaping, and lighting compatible with the architectural style of the building.
 - b. Open space between buildings: Where pedestrian access is required or provided between

7/23/2014

Everett Municipal Code

buildings, the space shall contain low shrubs, ground cover, lawn, seasonal plantings and textured paving.

c. Corner plaza: Open space at the corner of an intersection where the building is set back from the corner to create open space, which shall contain low shrubs, ground cover, seasonal plantings and textured paving.

5. Open space areas shall not be used for or occupied by driveways, parking, service areas, or any other vehicular use.

Encouraged Standards.

6. Where provided, plazas, courtyards and pedestrian areas should include additional landscape, accent lighting, public art, benches and low seating walls, or special paving.

7. Open spaces should be oriented toward the south when possible for optimal solar exposure.

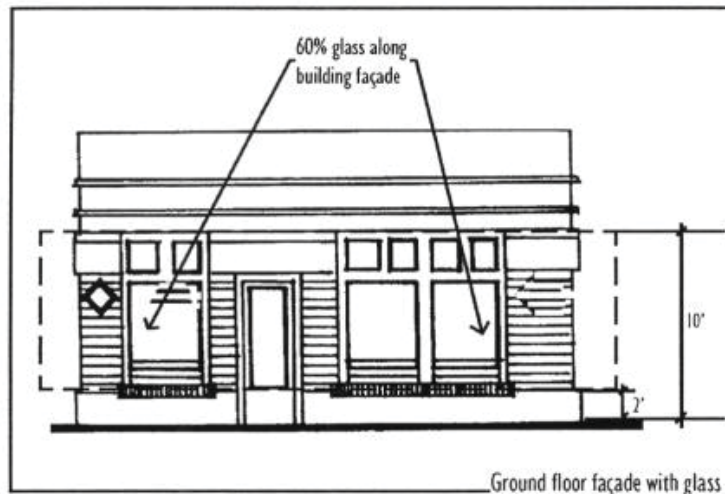
P. Maximum Setback. The intent is to ensure the visibility of retail businesses and establish active, lively uses along the sidewalk.

Required Standards for Nongateway Segments of Broadway.

1. New buildings shall not be set back from the front property line more than ten feet.

2. Space between the building and sidewalk, where wide enough, shall be designed to include seating and other street furnishings.

Q. Building Design—Ground Level Transparency. The intent is to provide visual connections between activities inside and outside the building.



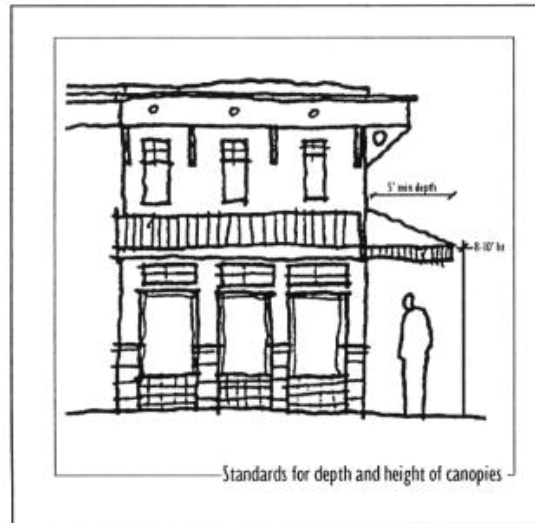
Required Standards.

1. A minimum of sixty percent of any ground floor facade between two feet and ten feet above grade facing Broadway shall be comprised of windows with clear glass.

7/23/2014

Everett Municipal Code

2. Reflective glass or film shall be prohibited.
- R. Building Design—Weather Protection. The intent is to provide rain protection for pedestrians.

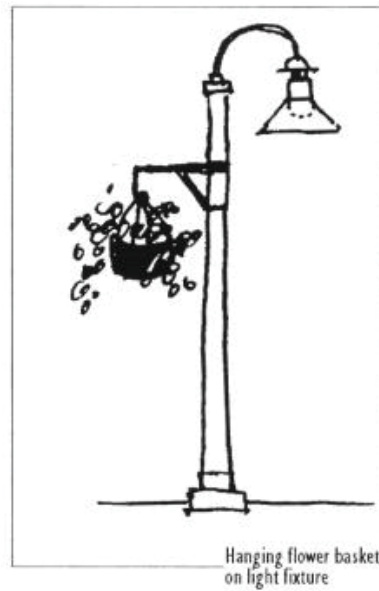


Required Standards.

1. Canopies, awnings or marquees shall be provided on facades facing Broadway, on at least seventy-five percent of the frontage. The minimum depth of the awning shall be five feet unless limited by the building code. The vertical dimension between the underside of the weather protection element and the sidewalk shall be at least eight feet and not more than ten feet.
 2. Weather protection can be combined with the method used to achieve visual prominence at entrances.
 3. Canvas, vinyl or other nonpermanent materials shall be prohibited as weather protection.
 4. Illumination below an awning shall be allowed only if awning material is opaque.
- S. Seasonal Color. The intent is to add color and variety with living plant materials where important pedestrian connections and spaces occur.

7/23/2014

Everett Municipal Code



Required Standards.

1. At least one of the following methods shall be used to provide seasonal color:
 - a. Hanging flower baskets on light fixtures.
 - b. Hanging flower baskets attached to facades.
 - c. Plant boxes adjacent to building entrances.
 - d. Street trees selected for spring blooms or fall colors.
 - e. Flower pots are encouraged on sidewalks where at least eight feet of unobstructed space is maintained for pedestrians.
- T. Ground Level Details. The intent is to ensure that buildings abutting Broadway display the greatest amount of visual interest and reinforce the character of the streetscape.

7/23/2014

Everett Municipal Code



Required Standards.

1. Facades of commercial and mixed-use buildings that face Broadway shall be designed to be pedestrian-friendly through the inclusion of at least five of the following elements:

- a. Kickplates for storefront windows.
- b. Projecting sills.
- c. Pedestrian-scale signs.
- d. Canopies.
- e. Plinth.
- f. Containers for seasonal planting.
- g. Tilework.
- h. Medallions.

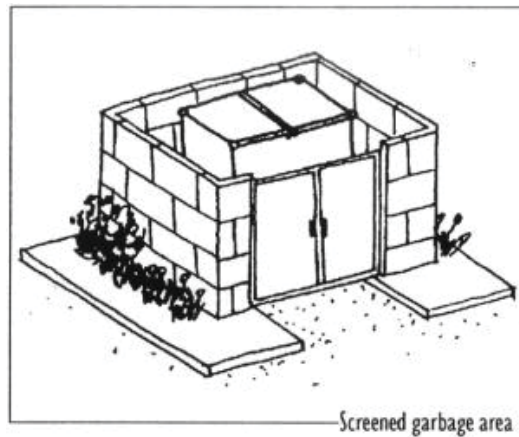
Encouraged Standards.

2. Use of brick and/or stone on at least ten percent of the building facades that face streets and/or alleys.

U. Screening of Service Areas and Mechanical Equipment. The intent is to provide a separation between service areas and pedestrian areas.

7/23/2014

Everett Municipal Code



Required Standards.

1. All mechanical equipment, loading and trash collection areas shall be screened by a combination of masonry walls and planting. Sound buffering should be used to reduce noise impacts.
2. Mechanical units shall be located and constructed so the impact of noise from such equipment is directed away from residential structures and uses. (Ord. 3167-09 § 3, 2009; Ord. 3099-08 § 12 (part), 2008.)

The Everett Municipal Code is current through Ordinance 3392-14, passed June 18, 2014.

Disclaimer: The City Clerk's Office has the official version of the Everett Municipal Code. Users should contact the City Clerk's Office for ordinances passed subsequent to the ordinance cited above.

COMPREHENSIVE DESIGN SIGN PLAN REVIEW

Review Process II #10-003
 Everett Community College
 Comprehensive Design Sign Plan
 March 9, 2010



The City of Everett Planning Department has received an application for a Comprehensive Design Signage Plan from Everett Community College (ECC) located at 2000 Tower Street, Everett, WA 98201. The college is requesting Planning Director approval to implement a comprehensive signage program including the following signs:

- Electronic Readerboard Sign (1)
- Campus ID Signs (3)
- Primary Vehicular Directional Signs (3)
- Secondary Vehicular Directional Signs (3)
- Primary Parking Lot ID Signs (3)
- Secondary Parking Lot ID Signs (12)
- Parking Lot ID, Light Post Mounted Signs (14)

SRG Partnership, Inc.

MAR 10 2010

Background

Essential Public Facility

Everett Community College is identified as an essential public facility in the City's Comprehensive Plan. On August 20, 2008 the Everett City Council adopted Ordinance 3089-08, adding an Institutional Overlay Zone to the area east of North Broadway, west of Broadway and south of the existing campus. The subject ordinance allows ECC to expand classrooms, parking lots, and support facilities in order to meet projected student population growth (FTE's) through 2015 and beyond.

Phase II Master Plan Improvements

The expanded area of the Institutional Overlay Zone as approved by the Everett City Council on August 20, 2008 includes the following Phase II Master Plan improvements:

- Construction of the Undergraduate Education Center
- Realignment of campus drive and associated utilities along Whittier Elementary School boundary
- Construction of surface parking on Pilchuck and Glacier Halls site
- Renovation and expansion to Early Learning Center on the existing campus
- Reconfiguration and expansion of surface parking at Early Learning Center and construction of cul-de-sac along Waverly Avenue south of 8th Avenue (pending City Council review and approval)
- Expansion of existing surface parking at Pregnancy Resource Center (920 North Broadway) and Time Oil site (928 North Broadway Avenue)
- Demolition of Topper Motel at 1030 North Broadway
- Construction of parking at 1030 North Broadway

Comprehensive Sign Design Review and Approval

Signage was not addressed in the Master Plan Expansion Development Regulations and the proposed signage is subject to Sign Category B, C and D of the Everett Municipal Code. The applicant has submitted a Comprehensive Sign Design Plan in accordance with Section 36.210 of the EMC requesting the Planning Director approval for deviations from the requirements and restrictions of Section 36.170 of the EMC (Sign Category Requirements). Using the review process as described in EMC Title 15, Local Review Procedures, the Planning Director is issuing the following "Findings and Conclusion" based upon the following criteria:

1. **Whether the proposal manifests exceptional visual harmony between the sign, buildings and other components of the subject property through the use of a consistent design theme**

- **Readerboard Digital Sign (1)**

Findings: The applicant is proposing one (1) double-sided electronic readerboard sign to be located along North Broadway in the BMU zone. The digital LED readerboard will be internally illuminated and display text and simple graphics. The overall size of the sign cabinet is 74.8 square feet and does not exceed size limitations as prescribed for the BMU zone. The overall height of 15' 8" exceeds the maximum eight (8) foot height limit for freestanding signs in the BMU zone.

Conclusion: The proposed 15' 8" readerboard digital sign is the minimum height necessary to elevate the electronic message center above normal pedestrian height as a precaution against vandalism. Also, the proposed location of the sign is at the low point between two (2) hills, and the elevated sign will improve visibility for both pedestrians and motorists approaching the college from north or south along North Broadway

In terms of a central design theme, the readerboard sign incorporates materials and colors from the palette of materials selected for other monument and freestanding signage creating a uniform design theme manifesting visual harmony between the sign, buildings and other aesthetic improvements. **NOTE:** Each of the monument and freestanding signs, with the exception of the Readerboard Signs and Primary Vehicular Directional Signs comply with the requirements and restrictions of the B-2-I, R-2-I and BMU zones.

- **Campus ID Signs (3)**

Findings: The applicant is proposing to locate three (3) single-sided monument signs at selected perimeter campus sites. Sign materials include brick, concrete and painted metal. These signs will be internally illuminated letters with the distinctive "Featherstone" college logo graphic. The sign area is 24.4 square feet and sign height is 5' 5". The subject signs are in compliance with the size and height limitations of Sign Category "D" (R-2-I zone).

Conclusion: Each of the proposed monument signs are in compliance with Sign Category "D", which limits the maximum sign area to 32 square feet and the maximum sign height to ten (10) feet with a 10-foot setback from the street ROW. Each of the proposed signs are integrated into a common design theme utilizing brick and concrete, graphics, distinctive college "Featherstone" logo and color which creates a visual harmony between the signs, buildings and other architectural elements of the subject property.

- **Primary Vehicular Directional Signs (3)**

Findings: The applicant is proposing three (3) double-sided freestanding post and panel signs. These signs are located along primary campus roads and will help campus visitors find their way to primary destinations including parking lots, buildings and facilities. Sign materials include painted metal posts and painted metal sign message panels. The sign area is 34 square feet and sign height is eight (8) feet. The subject signs are not in compliance with the size limitations of Sign Category "D" (R-2-I zone).

Conclusion: Each of the proposed freestanding post and panel signs are not in compliance with Sign Category "D", which limits the maximum sign area to 32 square feet and the maximum sign height of ten (10) feet with a 10-foot setback from the street ROW. Each of the message panels include the ECC "Featherstone" logo, college name and painted metal posts and painted metal sign message panels. Each of the proposed signs are integrated into a common design theme utilizing metal, graphics, distinctive college logo and color which creates a visual harmony between the monument signs, freestanding signs and the readerboard digital sign.

- **Secondary Vehicular Directional Signs (3)**

Findings: The applicant is proposing three (3) double-sided freestanding post and panel directional signs. These signs are located along internal campus roads and will provide directional information to primary and secondary destinations in the immediate vicinity. Sign materials include painted metal posts and painted metal sign message panels. The sign area is 14.5 square feet and sign height is 5' 2". The subject signs are non-illuminated and comply with the size and height requirements and limitations of Sign Category "D" (R-2-I zone.)

Conclusion: Each of these signs is in compliant with Sign Category "D" size and height limitations. These signs are consistent with the central design theme which includes the ECC "Featherstone" logo, college name and painted metal posts and painted metal sign message panels, graphics and color which complement the other monument and freestanding signs.

- **Parking Lot Identification Signs (15)**

Findings: The applicant is proposing a total of fifteen (15) parking lot identification signs. Each of these signs are double-sided freestanding post and panel signs. These signs are located at primary and secondary parking lot entrances and provide parking lot information and regulations such as permit only parking restrictions or designated pay and park stations. These signs are supported on painted metal bases with mechanically fastened removable message panels. The sign area for the primary parking lot signs is 11.4 square feet and the sign height is eight (8) feet. The sign area for the secondary parking lot signs is 9.2 square feet and a sign height of eight (8) feet. All of these signs comply with the requirements and limitations of Sign Category "D" (R-2-I zone).

Conclusion: Each of these signs is in compliant with Sign Category “D” size and height limitations. These signs are mounted on painted metal posts with mechanically fastened removable message panels. These signs are consistent with the central design theme which includes the “Featherstone” logo, college name, painted metal posts, painted sign message panels and graphics.

- **Parking Lot Identification Sign (Light-post Mounted) (14)**

Findings: The applicant is proposing fourteen (14) double-sided post-mounted signs centrally located in parking fields attached to light standards. Sign materials include painted metal sign message panels. The sign area is 8.7 square feet and the sign height is ten (10) feet above finished grade. These signs are also consistent with the central design theme, including the college logo, painted sign message panels and graphics.

Conclusion: These signs are similar to other parking lot signs which are included in the proposed signage plan.

2. **Whether the sign or signs promote the planned land use in the area of the subject property and enhance the aesthetics of the surrounding area.**

Findings: As previously stated the Everett City Council adopted Ordinance #3089-08 adding an Institutional Overlay Zone to the area east of North Broadway, west of Broadway and south of the existing campus. The Everett Community College is currently expanding classrooms, parking lots and support facilities to meet projected student population growth through 2015 and beyond.

- The proposed Digital Readerboard Sign will be located along North Broadway and serve as a way-finding sign for pedestrians and motorists approaching the college from either direction along North Broadway. This sign will also serve as a message information center for students and the general public concerning college related events and activities.
- Campus Identification Monument Signs will be located at select perimeter campus sites along Wetmore Avenue and Broadway. These signs are also way-finding signs for pedestrians and motorists.
- Vehicular Directional Signs will be located along Broadway, North Broadway, Tower Street and Campus Drive, which are primary campus roads. These signs will help campus visitors find their way to primary destinations such as parking lots, important building and facilities.
- Parking Lot Identification Signs will be located at parking lot entrances along primary and secondary campus roads including North Broadway, Tower, Campus Drive and Wetmore. These signs provide parking lot information and regulations including parking permit requirements.
- Parking Lot Identification Signs (Light-post Mounted) will be located in the interior of campus parking lots along North Broadway, Waverly Avenue, and Campus Drive.

Conclusion: Everett Community College is an essential public facility and the only major college facility in Everett and Snohomish County. The proposed signage plan is essential in promoting the existing and planned institutional land uses in the area of the subject property and enhances the aesthetics of the surrounding area.

3. Whether the signs and their placement obstructs or interferes with any other signs or property in the area or obstructs natural scenic views.

Findings: The Digital Readerboard Sign exceeds the maximum eight (8) foot height limit for a freestanding sign in the BMU zone. The proposed location of this sign is at the low point between two (2) hills and will not obstruct or interfere with any other signs or property in the area or obstruct natural scenic views.

Conclusion: With the exception of the Readerboard Sign, all of the proposed monument and freestanding signs meet the size and height limitations of Sign Category "D" which limits freestanding signs to a maximum sign area of 32 square feet and a maximum height of ten (10) feet with a required ten (10) foot setback from the property line abutting the street ROW.

4. Whether the proposed plan is aesthetically superior to what could be installed under existing criteria in this section

Findings: Yes, under the existing sign criteria all of the monument signs and freestanding signs are only required to meet the size and height requirements of Sign Category "D". The Comprehensive Design Sign Plan requires the applicant to integrate signs into the framework of buildings, landscaping and other design features of the property utilizing an overall design theme.

The Digital Readerboard Sign exceeds the height limit of the BMU zone and the Primary Vehicular Directional Signs do not meet the maximum sign area of 32 square feet for freestanding signs in the R-2-I zone. The applicant is proposing a comprehensive design plan to integrate all of the signs into a framework utilizing a central design theme including brick that matches recent building materials, landscaping, graphics, text fonts, standard college logo and uniform color themes.

Conclusion: The proposed Comprehensive Design Plan is aesthetically superior to what could be installed under the existing sign criteria in this section.

DECISION

Everett Community College is an essential public facility which provides essential educational facilities, recreational and employment opportunities for the residents of Everett and Snohomish County. Way-finding and identification signs located along major college roads and at key intersections and/or entrances to the campus are critical to the future development plans for Everett Community College. A comprehensive and uniform signage system blending building materials, graphics, landscaping and color, which clearly identifies the college and associated facilities, and also establishes the character, permanence and dignity of this institution provides a basis for the approval of this Comprehensive Design Plan

Therefore, the Everett Planning Director is approving the proposed Comprehensive Sign Design Plan (Review Process II #10-003) for the Everett Community College including the Digital Readerboard Sign, Monument Signs and Freestanding Signs as previously referenced subject to the following conditions:

- 1) The applicant must obtain a Building Permit from the Everett Building Department prior to the installation of the approved sign.
- 2) The signs shall not block fire department connections, fire hydrants and fire lanes.
- 3) Any changes to the approved signage including size, height or location is subject to review and approval by the Planning Director and may require a 14-day public comment and appeal period.

Right to Appeal: You may appeal this determination by filing an appeal on forms provided by the Planning Department and a fee to the Planning/Community Development Permit Services Counter at 3200 Cedar Street, 2nd Floor, **by 5:00 p.m. on March 24, 2010**. If you have questions regarding this proposal or if you wish to file an appeal, please contact Faheem Siddiq at (425) 257-8731.

Date: March 9, 2010



Allan Giffen
Planning Director

S:\FSiddiq\REV\REV II 10-003 EvCC Signs.doc

Everett Community College
Comprehensive Signage Design Plan

Sign Name	E01	E02	E04	E05	E06	E07	E08
Sign Description	Digital Readerboard One (1) Double-sided freestanding monument sign w/electronic readerboard element	Campus ID Three (3) Single-sided freestanding monument sign	Primary Vehicular Directional Three (3) Double-sided, freestanding post and panel sign	Secondary Vehicular Directional Three (3) Double-sided, freestanding post and panel sign	Primary Parking Lot ID Three (3) Double-sided, freestanding post and panel sign	Secondary Parking Lot ID Twelve (12) Double-sided, freestanding post and panel sign	Parking Lot ID (Lightpost-Mounted) Fourteen (14) Double-sided post mounted
Sign Location	Along North roadway, Final exact location to be determined	Select perimeter campus sites	Primary vehicular decision-making points within campus	Secondary vehicular decision-making points within campus	Vehicular entrances to parking lots along North Broadway	Vehicular entrances to interior campus parking lots	Within parking fields attached to light standards
Sign Materials	Brick Base, Painted metal sign panels and posts, LED readerboard	Brick, concrete, painted metal	Painted metal posts, Painted metal sign message panels	Painted metal posts, Painted metal sign message panels	Painted metal posts. Painted metal sign message panels	Painted metal posts, Painted metal sign message panels	Painted metal sign message panels
Sign Illumination	Internally illuminated digital LED readerboard	Internally illuminated letters for campus logotype	Non-illuminated	Non-illuminated	Non-illuminated	Non-illuminated	Non-illuminated
Sign Area	74.8 sq. ft.	24.4 sq. ft.	34.0 sq. ft.	14.5 sq. ft.	11.4 sq. ft.	9.2 sq. ft.	8.7 sq. ft.
Sign Height	15' 8" overall	5' 5" overall	8' 0" overall	5' 2" overall	8' 0" overall	8' 0" overall	10' 0" above finished grade

COMMUTE TRIP REDUCTION PROGRAM

Everett Community College – Commute Trip Reduction Program Evaluation and Recommendations

July 17, 2009
(Revised April 28, 2010)

Introduction

This report summarizes TSI's evaluation of Everett Community College's (ECC) current Commute Trip Reduction (CTR) program and provides recommendations to refine the program that would increase participation levels and further reduce trips generated by the campus. This evaluation and set of recommendations is made in response to a City of Everett land use condition tied to the City's approval of a zoning change that will allow expansion of the ECC campus. The condition requires the College to reduce the percent of faculty, staff, and students that arrive by single occupant vehicle (SOV) to 54%. The 54% SOV rate is a goal established in the City's Comprehensive Plan for the area of the City where ECC is located. A separate SOV goal of 54% is established under the Commute Trip Reduction (CTR) ordinance. This goal applies only to "affected employees" (those who arrive at work between 6 and 9 AM three or more days per week). ECC has had a trip reduction program in place for a number of years as required by the CTR ordinance.

Current CTR Program

ECC manages a CTR program that provides trip reduction services to all faculty, staff, and students. It provides additional services that are available to students as well. The program is coordinated by a part-time Employee Transportation Coordinator (ETC) that spends approximately 8 hours per week on trip reduction activities.

Program features include:

1. Distributing a CTR program summary to staff.
2. Providing program information at new employee orientation and other employee events.
3. Maintaining a Commuter Information Center (CIC).
4. Posting of promotional material.
5. Conducting transportation fairs or other CTR related events.
6. Sending email messages about the CTR program.
7. Publishing CTR articles in newsletters.
8. Conducting employee ridepooling campaigns.

9. Maintaining a CTR website with links to transit agencies, internal and external ride match services.
10. On-site child care.
11. Quarterly parking fees of \$20 per quarter for full-time and \$14 for part-time faculty, staff, and students.
12. Carpool parking at reduced rates as well as internal ride-match services.
13. Bicycle racks and bicycle lockers with access to showers and clothing lockers.
14. Flexible work hours for qualified staff.
15. An on-site transit center.
16. A grant-based monthly transit pass subsidy of \$25 for faculty and staff.

A very important on-campus feature that encourages transit use is the new North Everett Transit Center, which opened in 2008. This facility provides access to five Everett Transit routes, which includes a route to the Everett Station. From the Everett Station, riders can access Community Transit and Sound Transit routes. There is also a free route linking the campus with Marysville. Skagit Transit and Community Transit also have limited service routes with stops on Broadway adjacent to the campus.

Faculty and staff participation in the program is quantified through the biannual CTR survey, which documents travel mode splits and other information related to travel choices and factors that could influence those choices. Table 1 summarizes the survey findings for 2005, 2007, and 2009.

Table 1: Faculty/Staff Mode Split CTR Survey

Commute Mode	2005	2007	2009
SOV	76%	78%	77%
Carpool / Vanpool	15%	12%	10%
Bus	2%	3%	3%
Bicycle	1%	1%	1%
Walk	2%	1%	2%
Compressed work week	1%	0%	1%
Other	2%	3%	6%

The first CTR survey for the campus showed a SOV rate of 77%. Since the initial survey, subsequent surveys have revealed only minor fluctuations in the SOV rate. Survey information for those who drove alone all of the time showed that 29% of them would be likely to use transit. Key

factors that would encourage trip reduction were a guaranteed ride home (37%), transportation during lunch breaks (25%), and financial incentives (25%). These factors show that there is significant potential for faculty and staff to use the transit center.

In April of 2009 a survey was conducted that included faculty, staff, and students to document current travel modes. Table 2 illustrates the findings for faculty, staff and students. The survey found that 77% of the faculty and staff and 65% of the students drove alone while 12% of both groups carpooled. Carpooling was relatively high and may be attributed to the ongoing campaign to promote carpools and providing carpool matching services. Transit ridership was not as high as hoped for with only 6% of faculty and staff and 8% of students indicating that they arrived on campus via transit. However, it is higher than the 2% transit mode split reported in the 2009 CTR survey. A significant finding is that 7% of the students avoid a commute to campus by participating in on-line classes. This is a good indicator of the success of on-line programs in reducing campus commutes.

Table 2: Campus Population Commute Travel Modes (2009)

Commute Mode	Faculty & Staff	Students	Total
Drive alone	77%	65%	71%
Carpool	12%	12%	12%
Vanpool	0.5%	0%	0%
Transit	6%	8%	7%
Bicycle	1%	1%	1%
Walk	3%	2%	2%
Online Class	1%	7%	5%
Motorcycle	0.5%	1%	1%
Other	1%	1%	1%

While the presence of the North Everett Transit Center has significantly improved transit access, the demographics of the campus population present a challenge when attempting to increase transit usage and decrease the SOV rate. Many students attend ECC part time while working and require a vehicle to travel quickly between the campus and their work place. Part-time faculty and staff may have other jobs that present the same problem. This mobility requirement precludes many students as well as some part-time faculty and staff from using non-SOV travel modes. The part-time nature of both student and faculty populations results in flexible and unpredictable schedules that make it difficult to form and maintain carpools or utilize other non-SOV travel modes.

This is confirmed by the survey results that show that 'flexibility' and 'work commute' rank high in the reasons why student drive alone. However, students also indicated that the primary reason they drove alone was there was 'no one to share ride'. This indicates that the student population is open

to sharing rides and that increased marketing of ride matching services may result in increased program participation.

Faculty and staff indicated that they drove alone because it offered 'flexibility', 'saves time', and 'poor bus service'.

A closer look at the commute modes of full-time faculty staff and students is warranted in order to compare the findings with CTR goals. Table 3 summarizes the travel modes for full-time faculty and staff and students. The 'drive alone' travel mode for full-time faculty and staff is approximately the same as the total population while the percentage of full-time students that drive alone is 5% higher than the total student population.

Table 3: Full-Time Campus Population Commute Travel Modes (2009)

Commute Mode	Faculty & Staff	Students	Total
Drive alone	76%	77%	77%
Carpool	13%	13%	13%
Vanpool	1%	0%	0%
Motorcycle	1%	1%	1%
Transit	5%	12%	8%
Bicycle	2%	1%	1%
Walk	2%	1%	2%
Online Class	1%	4%	3%
Other	2%	0%	1%

The current percentage of full-time faculty and staff that drive alone is 76%. This participation level should be compared against the CTR goal of 64%. The City Comprehensive Plan drive alone goal of 64% for the sub-area that ECC is located should be compared against the total campus drive alone survey finding of 71%.

Program Recommendations

The survey identified a number of key points that could help increase program participation. These include:

- The survey showed that almost 70% of the campus population lives within 15 miles, 19% lives within 5 miles, and 4% live within one mile. These population groups could be targeted to achieve gains in carpooling, bicycling, and walking.
- The on line academic program could be increased to build upon its present success in reducing trip to campus.

- Increased marketing of the carpool program and its ride match services could result in increased participation.
- Although the presence of the transit center provides good access, there are issues regarding routing and service levels that appear to limit transit ridership. This ranked very high on the list of items that could influence a shift from the drive alone travel mode.
- The 'insurance' factor of a guaranteed ride home in case of emergency also ranked very high as did cheaper transit passes.

Working to increase transit ridership is a primary issue. One of the limitations to transit ridership for all such programs has been perceived or real limitations to accessing transit. With a transit center on-campus this issue is effectively addressed. However, there are concerns about routes and service levels that affect the use of the transit center. The College should work with Everett Transit and Community Transit to ensure that the Transit Center and the campus's needs for transit service are effectively addressed.

A program that expands access to subsidized transit passes for faculty, staff, and students would be key to increasing transit ridership. Issues regarding funding for subsidizing transit passes are discussed below.

A factor that ties people to their single occupant vehicle is not only the mobility it provides but the ability to get home or to their child's school in case of an emergency. A key element of all trip reduction programs is a guaranteed ride home in case of an emergency. For a campus selling this is typically accomplished by setting up an account with a taxi service and having the security staff authorize access to the ride. Program costs are very minor when compared to the benefit it provides in removing a barrier to participating in a trip reduction program.

Another program element that could be improved is how program information is presented on the ECC web site. The different program elements are present within areas of the Security Department web pages. It is recommended that the trip reduction program be consolidated into its own set of web pages so it is easy to find and provides one point for accessing all program elements. Easy access to program information is critical in a community college setting where there is a relatively high part-time population and turn over in population between quarters.

A final point to consider is program funding. Given the current economic climate and its impact to community college budgets, it is not realistic to expect ECC to provide funding to subsidize transit passes and other program costs. This challenge has been overcome by many educational institutions by finding alternative sources such as grants or assessing transportation fees as a revenue source to subsidize transit passes, provide carpool incentives, and fund other program activities. Whatever the funding source, transit pass and other subsidies that encourage non-SOV travel modes are a significant program element that is critical to shifting travel behavior in order to achieve the

SOV goals. The reality of the college's ability to establish such funding is a significant barrier. However, the college will commit to evaluating the feasibility of a campus wide transportation fee.

The proposed transportation management program is summarized in the following table. This table includes existing program elements, proposed changes to those elements, and new recommendations.

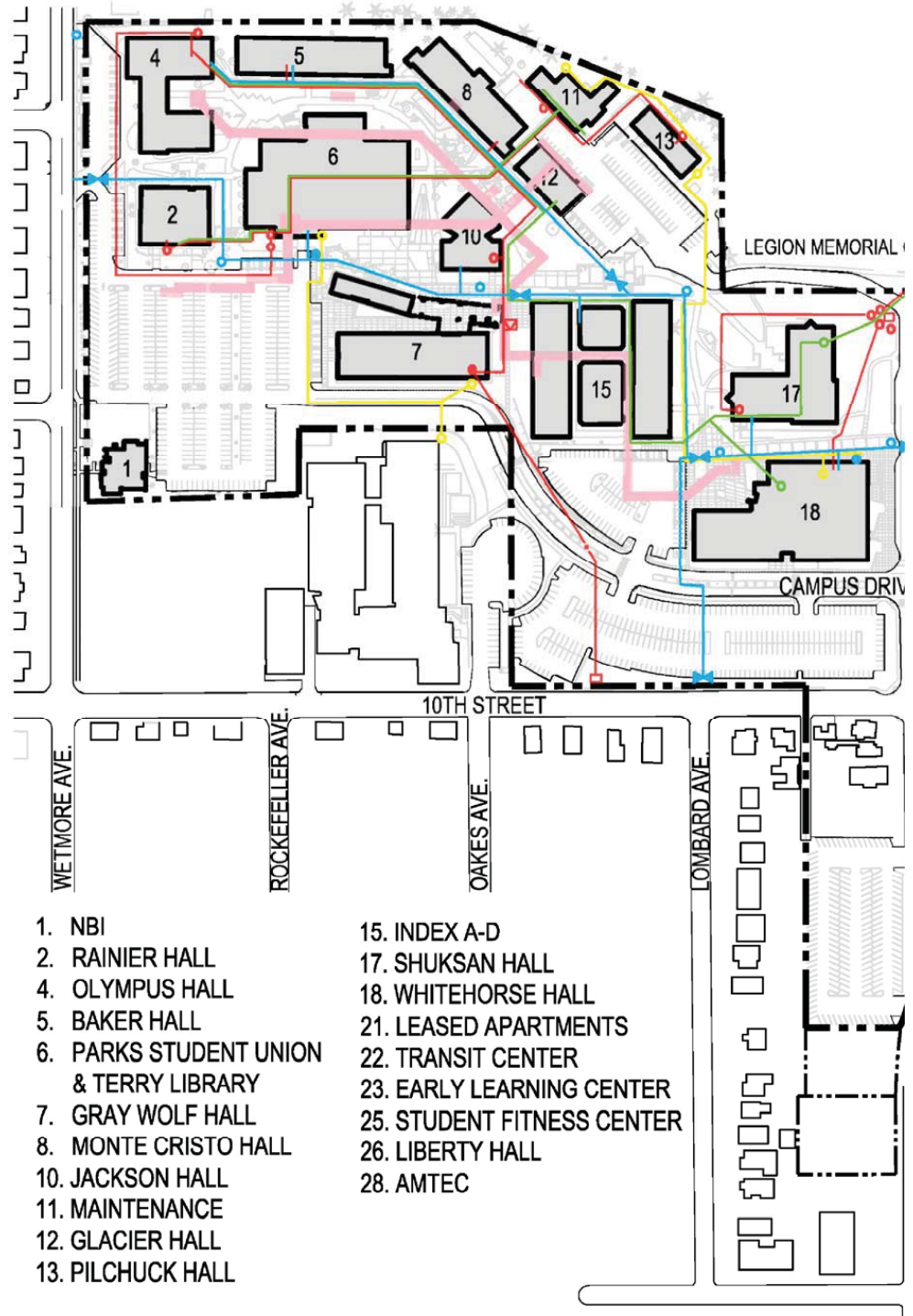
Everett Community College – Transportation Management Program

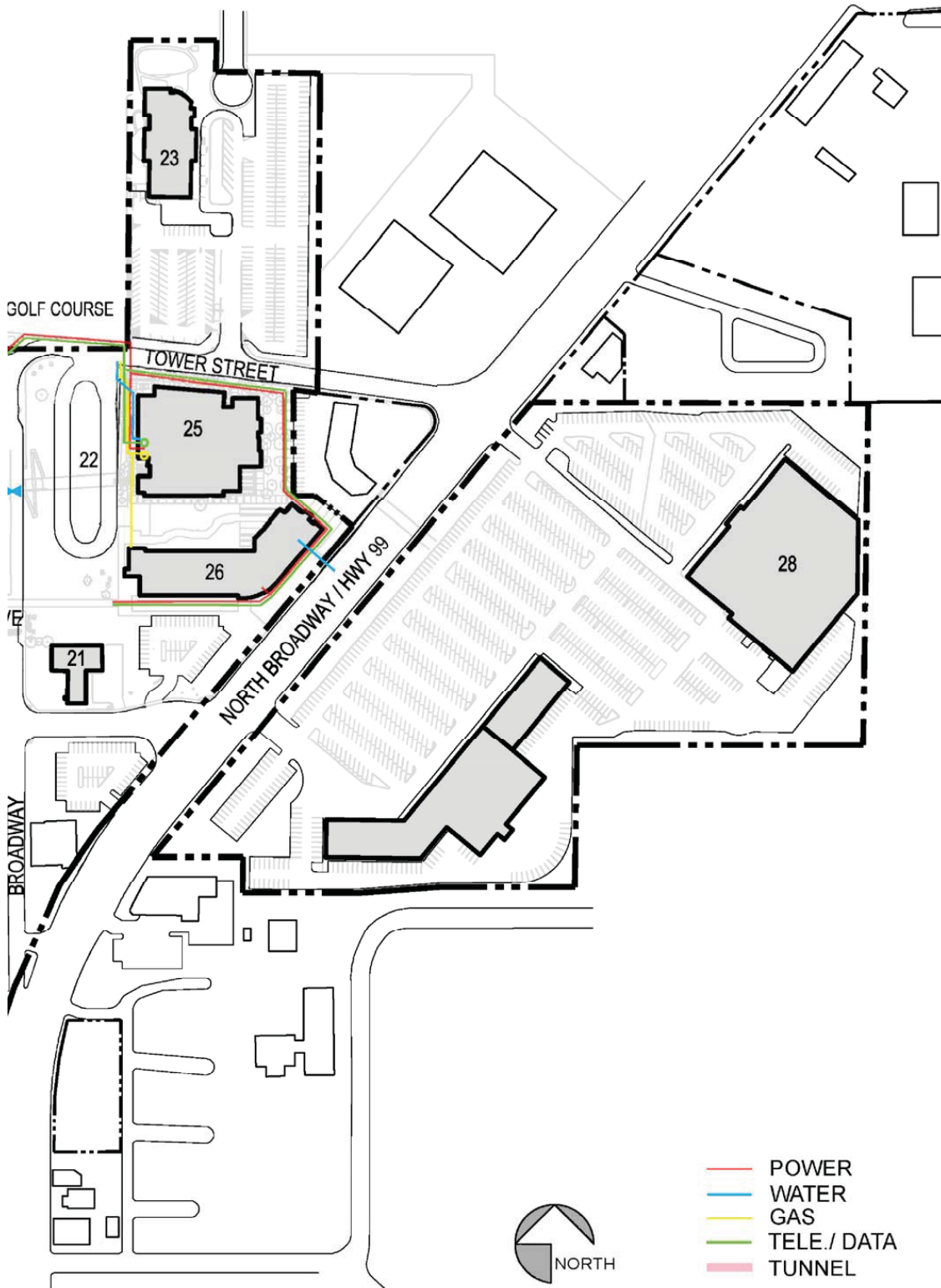
Element	Strategies	Initiatives
<p>Transit</p> <p><i>Goal: Increase transit ridership through subsidies and improved access.</i></p>	<ol style="list-style-type: none"> 1. Explore opportunities to subsidize the cost of transit passes. 2. Work to improve transit access and utilization. 3. Transit program benefits include: <ol style="list-style-type: none"> a. Transit pass subsidies when available through grants. b. Guaranteed ride home in case of emergency (up to 4 trips/year). 	<ol style="list-style-type: none"> 1. Apply for grants to subsidize transit passes. 2. Evaluate the potential of establishing a transportation fee to provide a revenue stream to subsidize transit passes and other program activities. 3. Work with Everett Transit and Community Transit to ensure adequate service at or near campus. 4. Create the guaranteed ride home as a new program element.
<p>HOV</p> <p>(High Occupancy Vehicle)</p> <p><i>Goal: Increase HOV program participation by maintaining subsidies and marketing program benefits and opportunities.</i></p>	<ol style="list-style-type: none"> 1. Keep the cost of HOV commutes below the cost of SOV commutes by: <ol style="list-style-type: none"> a. Providing reduced parking fees for HOV vehicles. 2. Increase ridership by: <ol style="list-style-type: none"> a. Marketing program. b. Marketing program to potential riders through such means as promotions, special events, and promotion of the RideShare Online program. c. Providing reserved parking for HOV vehicles in a preferred area. 4. Program benefits include: <ol style="list-style-type: none"> a. Reduced parking fees. b. Guaranteed ride home in case of emergency (up to 4 trips/year). c. Preferential parking. 	<ol style="list-style-type: none"> 1. Maintain reduced parking fees for carpools. 2. Improve marketing program: <ol style="list-style-type: none"> a. Establish a web page dedicated to commuting alternatives and parking. b. Target campus population that lives within 15 miles of campus.

Element	Strategies	Initiatives
<p>Bicycle</p> <p>Goal: Increase bicycle ridership by providing support services and establishing an incentive program.</p>	<ol style="list-style-type: none"> 1. Support services include: <ol style="list-style-type: none"> a. Covered and open bicycle parking spaces. b. Access to showers and lockers. 2. Incentives and benefits include: <ol style="list-style-type: none"> a. Guaranteed ride home in case of emergency (up to 4 trips/year). b. Develop additional benefits such as discounts at a local bicycle shop, periodic drawings for prizes, and annual recognition. 	<ol style="list-style-type: none"> 1. Objective of developing additional benefits and incentives for program participants. 2. Provide access to showers and lockers for program participants.
<p>Pedestrian</p> <p>Goal: Increase pedestrian commuter by providing support services and establishing an incentive program.</p>	<ol style="list-style-type: none"> 1. Support services include: <ol style="list-style-type: none"> a. Access to showers and lockers. 2. Incentives and benefits include: <ol style="list-style-type: none"> a. Guaranteed ride home in case of emergency (up to 4 trips/year). 	<ol style="list-style-type: none"> 1. Objective of developing additional benefits and incentives for program participants. 2. Provide access to showers and lockers for program participants.
<p>Marketing</p> <p>Goal: Increase hospital staff awareness of program opportunities and benefits.</p>	<ol style="list-style-type: none"> 1. Maintain online access to transportation services. 2. Provide program information to the campus population through orientation sessions, e-mail notices, and office hours for transportation office. 3. Provide a minimum of one Commuter Information Center in a public location. 4. Promote programs in campus publications. 	<ol style="list-style-type: none"> 1. Establish a marketing campaign that is frequently visible to the campus population. 2. Target the portion of the campus community that lives within 15 miles of the campus.
<p>TMP Regulation and Monitoring</p> <p>Goal: Establish a SOV goal and monitoring program that meets City requirements.</p>	<ol style="list-style-type: none"> 1. Adopt the SOV goal of 64% as required by the City of Everett for the campus population. 2. Adopt the CTR SOV goal of 64% for affected employees. 3. Conduct CTR surveys every two years as required. 4. Provide annual CTR reports as required. 	

ENLARGED UTILITY PLAN

An enlarged utility plan, referenced in Section 6.0 Design Guidelines, Utilities, follows on the next two pages.





LANDSCAPE PLANTS BY THEME

CAMPUS THEMES

The campus is organized according to the following planting themes – a general palette of plants is outlined as an indication of character and intent:

Upper Campus

Rustic, native, naturalistic, sense of both refuge and outlook; glen in a mixed forest, native and naturalistic understory.

- » Conifers such as: Thuja plicata (Western redcedar), Pseudotsuga menziesii (Douglas fir), Tsuga mertensiana (mountain hemlock)
- » Deciduous trees and broadleaf evergreens such as: Acer rubrum 'Karpick' (columnar red maple), Arbutus unedo (strawberry tree)
- » Accent trees such as: Acer circinatum (vine maple), Sorbus aucuparia (mountain ash)
- » Feature shrubs and landscape accents such as:
 - » Shade: Rubus spectabilis/ Red currant Rhododendrons, Mahonia, Cornus, Symphoricarpos and Viburnum shrub species
 - » Sun: Mugho pine, native roses, azaleas, Spiraea
 - » Groundcovers: heathers, ferns, salal and kinnikinnick

Middle Campus

North temperate slope, urban fringe, semi refined; forest edge with both native and ornamental plantings.

- » Conifers such as: Thuja plicata 'Fastigiata' (Hogan's Cedar), Sequoia sempervirens (coast redwood), Pinus contorta (Shore Pine)
- » Deciduous trees such as: Acer rubrum 'Armstrong' (Armstrong red maple), Betula jacquemontii (Himalayan birch), Cercidiphyllum japonicum (katsura)
- » Accent Trees: Crataegus spp. (Flowering crabapple), Acer ginnala 'Flame' (Flame amur maple)
- » Feature shrubs and landscape accents such as:
 - » Shade: Rhododendron spp./ Rhododendrons and azaleas, Kalmia, Cornus, Pieris, Ilex and Viburnum species

- » Sun: Rosa rugosa, Cotoneaster, Mugho pine, Cistus spp.

- » Groundcovers: kinnikinnick, Rubus, salal and Vinca

Lower Campus

Lowland forest and waterways / urban interface; groves of native trees, naturalistic and water-edge plantings contrast with urban streetscape plantings.

- » Conifers such as: Pinus nigra (Austrian black pine), Thuja plicata 'Fastigiata' (Hogan's Cedar), Cedrus dedodara (Deodar cedar)
- » Deciduous trees such as: Betula papyrifera (paper birch), Fraxinus latifolia (Oregon ash), Acer rubrum 'Red Sunset' (Red Sunset maple)
- » Accent trees such as: Amelanchier alnifolia (Serviceberry), Prunus spp. (flowering cherry), Nyssa sylvatica (sour gum)
- » Feature shrubs and landscape accents such as:
 - » Shade: Rhododendrons and azaleas, Kalmia, Cornus, Ilex, Mahonia
 - » Sun: Cornus s. 'Kelseyii', Cotoneaster, Berberis and Viburnum species
 - » Bamboos, ornamental grasses and perennial accents
 - » Groundcovers: kinnikinnick, Rubus, salal and Vinca

4th Zone Campus

Lorem ipsum dolor sit amet, consectetur adipiscing elit, sed do eiusmod tempor incididunt ut labore et dolore magna aliqua. Ut enim ad minim veniam, quis nostrud exercitation ullamco laboris nisi ut aliquip ex ea commodo consequat.

- » Conifers such as: Pinus nigra (Austrian black pine), Thuja plicata 'Fastigiata' (Hogan's Cedar), Cedrus dedodara (Deodar cedar)
- » Deciduous trees such as: Betula papyrifera (paper birch), Fraxinus latifolia (Oregon ash), Acer rubrum 'Red Sunset' (Red Sunset maple)
- » Accent trees such as: Amelanchier alnifolia (Serviceberry), Prunus spp. (flowering cherry), Nyssa sylvatica (sour gum)

